

STATE THEATRE: LOBBY EXPANSION

609 CONGRESS STREET, ME, 04101
 ISSUED FOR CONSTRUCTION
 SEPTEMBER 09, 2024



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DRAWING LIST

SHEET NO.	SHEET NAME	ISSUED FOR CONSTRUCTION	CoP PERMIT RESUBMISSION 11.01.24
GENERAL			
G001	COVER SHEET + DRAWING LIST	•	•
G002	LIFE SAFETY PLAN + CODE SUMMARY	•	•
G003	TYPICAL ADA DETAILS + MOUNTING	•	•
DEMOLITION			
AD101	DEMOLITION PLAN + RCP	•	•
A201	DEMOLITION ELEVATION + EXTERIOR ELEVATION	•	•
ARCHITECTURAL			
A101	FIRST FLOOR PLAN + RCP + PARTITION TYPES	•	•
A121	FIRST FLOOR FINISH FLOOR PLAN - PHASE 1	•	•
A201	EXTERIOR ELEVATIONS + DOOR + WINDOW SCHEDULE + WALL SECTION	•	•
A311	WALL SECTION DETAILS + DOOR DETAILS	•	•
A500	EXTERIOR DETAILS - PLAN DETAIL SERIES	•	•
A510	EXTERIOR DETAILS - SECTION DETAIL SERIES	•	•
A550	INTERIOR ELEVATIONS SERIES + MATERIAL LEGEND	•	•
A560	INTERIOR DETAILS SERIES + VERTICAL CIRCULATION	•	•
A600	FINISH SCHEDULE	•	•
STRUCTURAL SERIES			
S001	STRUCTURAL SERIES	•	•
MXXX	MECHANICAL SERIES	•	•
PXXX	PLUMBING SERIES	•	•
EXXX	ELECTRICAL SERIES	•	•
FAXX	FIRE ALARM SERIES	•	•
SXXX	SECURITY SERIES	•	•
FPXXX	FIRE PROTECTION SERIES	•	•



1 LOCATION PLAN
 SCALE: NOT TO SCALE

PROPERTY SUMMARY:

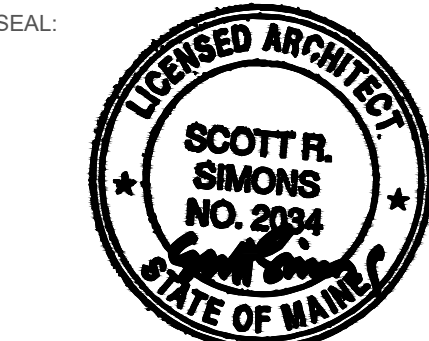
PARCEL ID: 046 D033
ZONING: B3 (DOWNTOWN BUSINESS ENTERTAINMENT)
HISTORIC STATUS: CONTRIBUTING, CONGRESS STREET DISTRICT
APPLICATION ID: HPBR-002926-2024



MATERIAL KEY	ARCHITECTURAL ABBREVIATIONS	ARCHITECTURAL SYMBOLS	ADD/ALTERNATES
<p>COURSE GRAVEL</p> <p>CONCRETE</p> <p>STONE</p> <p>EARTH/COMPACT FILL</p> <p>GYPSUM/PLASTER</p> <p>PLYWOOD</p> <p>FINISH WOOD</p> <p>ROUGH WOOD</p> <p>BLOCKING WOOD</p> <p>CONCRETE MASONRY</p> <p>BRICK MASONRY</p> <p>SAND/FINE GRAVEL</p> <p>DENSE PAK CELLULOSE INSULATION</p> <p>SPRAY FOAM INSULATION</p> <p>BATT INSULATION</p> <p>RIGID INSULATION</p> <p>NOT USED</p>	<p>AR ABUSE RESISTANT</p> <p>AB ANCHOR/BOLT</p> <p>ACT ACOUSTICAL CEILING TILE</p> <p>ADDL ADDITIONAL</p> <p>ADJ ADJACENT</p> <p>ADMIN ADMINISTRATION</p> <p>AFV ABOVE FINISH FLOOR</p> <p>ALUM ALUMINUM</p> <p>ALT ALTERNATE</p> <p>AP ACCESS PANEL</p> <p>APPROX APPROXIMATELY</p> <p>ARCH ARCHITECT</p> <p>BD BOARD</p> <p>BF BOTTLE FILLER</p> <p>BIT BITUMINOUS</p> <p>BLDG BUILDING</p> <p>BLKG BLOCKING</p> <p>BM BENCHMARK</p> <p>BRG BEARING</p> <p>BTW BETWEEN</p> <p>CAB CABINET</p> <p>CB CATCH BASIN</p> <p>CEM CEMENT</p> <p>CF CUBIC FEET</p> <p>CG CORNER GUARD</p> <p>CIRC/CIRCULAR CIRC/CIRCULAR</p> <p>CJ CONTROL JOINT</p> <p>CL CENTER LINE</p> <p>CLG CEILING</p> <p>CLO CLOSET</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CO CLEAN OUT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CONST CONSTRUCTION</p> <p>CONT CONTINUE, CONTINUOUS</p> <p>COOR CORRUGATED</p> <p>COORD COORDINATED</p> <p>CRS COURSE</p> <p>CT CERAMIC TILE</p> <p>CTV CABLE TELEVISION LINE</p> <p>CUH CABINET UNIT HEATER</p> <p>CY CUBIC YARD</p> <p>DBL DOUBLE</p> <p>DEFL DEFLECTION</p> <p>DEMO DEMOLITION</p> <p>DF DRINKING FOUNTAIN</p> <p>DIA DIAMETER</p> <p>DIAG DIAGONAL</p> <p>DM DIMENSION</p> <p>DR DIRECTOR/DOOR</p> <p>DIV DIVISION</p> <p>DN DOWN</p> <p>DTL DETAIL</p> <p>DWG DRAWING</p> <p>E EAST</p> <p>EA EACH</p> <p>EF EXHAUST FAN</p> <p>EJ EXPANSION JOINT</p> <p>EL ELEVATION</p> <p>ELEV ELEVATOR</p> <p>ELEC ELECTRIC/ELECTRICAL</p> <p>EQ EQUAL</p> <p>EWV ELECTRIC WATER COOLER</p> <p>EXAM EXAMINATION</p> <p>EXIST EXISTING</p> <p>EXT EXTERIOR</p> <p>FBO FURNISHED BY OWNER</p> <p>FCO FLOOR CLEAN OUT</p> <p>FD FLOOR DRAIN</p> <p>FPC FIRE CONTROL PANEL</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET</p> <p>FEC/RSR REC. SEMI RECESSED</p> <p>FEC/FR REC. FULLY RECESSED</p> <p>FG FIBERGLASS</p> <p>FIN FINISH</p> <p>FL FLOOR</p> <p>FOS FACE OF STUD</p> <p>FRP FIBERGLASS REINFORCED</p> <p>PLASTIC PLASTIC</p> <p>FT FOOT</p> <p>FTG FOOTING</p> <p>F.O. FACE OF</p> <p>GA GAUGE</p> <p>GAL GALLON</p> <p>GALV GALVANIZED</p> <p>GC GENERAL CONTRACTOR</p> <p>GL GLASS</p> <p>GR GRANITE</p> <p>GWBS GYPSUM WALL BOARD</p> <p>GYP GYPSUM</p> <p>HD HIGH DENSITY</p> <p>HR HOUR</p> <p>HC HOLLOW CORE</p> <p>HDWR HARDWARE</p> <p>HFO HALF FULL SCALE</p> <p>HGT HEIGHT</p> <p>HM HOLLOW METAL</p> <p>HO HOLD OPEN</p> <p>HORIZ HORIZONTAL</p> <p>HTG HEATING</p> <p>HVAC HEATING, VENTILATION & AIR CONDITIONING</p> <p>HW HOT WATER</p> <p>HYD HYDRANT</p> <p>INC INCLUDE/INCLUDING</p> <p>ID INSIDE DIAMETER</p> <p>IN INCH</p> <p>INSUL INSULATE/INSULATION</p> <p>INT INTERIOR</p> <p>INVT INVERT</p> <p>INCL INCLUDE/INCLUDING</p> <p>INS INSIDE DIAMETER</p> <p>INCH INCH</p> <p>INSUL INSULATE/INSULATION</p> <p>INT INTERIOR</p> <p>INVT INVERT</p> <p>JAN JANITOR</p> <p>JC JANITOR CLOSET</p> <p>JOINT JOINT</p> <p>KIT KITCHEN</p> <p>LAM LAMINATE/LAMINATED</p> <p>LAV LAVATORY</p> <p>LCC LEAD COATED COPPER</p> <p>LF LINEAR FOOT</p> <p>LG LIGHT</p> <p>LIN LINEN</p> <p>MTR MATERIAL</p> <p>MAS MASONRY</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MED MEDICAL</p> <p>MFR MANUFACTURER</p> <p>MGR MANAGER</p> <p>MH MANHOLE</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>MASON MASONRY OPENING</p> <p>MOLD MOLDING</p> <p>MR MOISTURE RESISTANT</p> <p>MTG MOUNTED</p> <p>MTG MOUNTING</p> <p>N NORTH</p> <p>NATL NATURAL</p> <p>NIC NOT IN CONTRACT</p> <p>NL NIGHT LIGHT</p> <p>NO NUMBER</p> <p>NTS NOT TO SCALE</p> <p>OC ON CENTER</p> <p>OCFCI OWNER FURNISHED CONTRACTOR INSTALLED</p> <p>OZ ONCE</p> <p>PNL PANEL</p> <p>PNT PART</p> <p>PNTB PART BOARD</p> <p>PC PIECE</p> <p>PERM PERIMETER</p> <p>PL PLATE</p> <p>PLAS PLASTER</p> <p>PLAM PLASTIC LAMINATE</p> <p>PLYWD PLYWOOD</p> <p>PNT PAINT</p> <p>POLY POLYURETHANE</p> <p>PREP PREPARATION</p> <p>PSF POUNDS / SQUARE FOOT</p> <p>PSI POUNDS / SQUARE INCH</p> <p>PT PRESERVATIVE TREATED</p> <p>PTD PAINTED</p> <p>PVMT PAVEMENT</p> <p>QT QUART</p> <p>R RADIUS/RISER/RANGE</p> <p>RD ROOF DRAIN</p> <p>REC RECREATION</p> <p>RECT RECTANGLE</p> <p>REF REFERENCE</p> <p>REQD REQUIRED</p> <p>REFR REFRIGERATOR</p> <p>REIN REINFORCE/REINFORCING</p> <p>RESIL RESILIENT</p> <p>REV REVISE/REVISION</p> <p>RFG ROOFING</p> <p>RM ROOM</p> <p>RND ROUND</p> <p>RO ROUGH OPENING</p> <p>S SOUTH/SINK</p> <p>SAN SANITARY</p> <p>S.A.F.B. SQUARE ATTENUATION FIRE BATTES (BRACKET)</p> <p>SC SOLID CORE</p> <p>SD STORM DRAIN</p> <p>SECT SECTION</p> <p>SF SQUARE FOOT</p> <p>SHT SHEET</p> <p>SIM SIMILAR</p> <p>SPEC SPECIFICATION(S)</p> <p>SPF1 SPRAY FOAM INSULATION</p> <p>SQ SQUARE</p> <p>STD STANDARD</p> <p>STC SOUND TRANSMISSION COEFFICIENT</p> <p>STN STAINLESS</p> <p>STL STEEL</p> <p>STOR STORAGE</p> <p>SS STAINLESS STEEL</p> <p>SUSP SUSPENDED</p> <p>T TREAD/TOILET</p> <p>TEL TELEPHONE</p> <p>TEMP TEMPERATURE/TEMPERED</p> <p>T&G TONGUE & GROOVE</p> <p>TH THICKNESS</p> <p>T.O. TOP OF</p> <p>TV TELEVISION</p> <p>TYP TYPICAL</p> <p>UNL UNDERWRITERS LABORATORIES</p> <p>UNO UNLESS NOTED OTHERWISE UTILITIES</p> <p>VAR VARIES</p> <p>VB VAPOR BARRIER</p> <p>VCT VINYL COMPOSITE TILE</p> <p>VENT VENTILATOR/VENTILATION</p> <p>VERT VERTICAL</p> <p>VEST VESTIBULE</p> <p>VR VAPOR RETARDER</p> <p>W WEST / WATER / WASHER / WIDTH</p> <p>WC WITH</p> <p>WC WATER CLOSET</p> <p>WD WOOD</p> <p>WIND WINDOW</p> <p>W/O WITH OUT</p> <p>WWF WELDED WIRE FABRIC</p> <p>WWM WELDED WIRE MESH</p>	<p>FINISH MATERIAL (CL1)</p> <p>CASEWORK TYPE (CW1)</p> <p>ROOM NUMBER (ROOM NAME 101)</p> <p>DOOR NUMBER (101A)</p> <p>WINDOW TYPE (NO)</p> <p>PARTITION TYPE (M 01)</p> <p>REVISION REFERENCE (1)</p> <p>FIRE EXTINGUISHER, RECESSED CABINET (FE)</p> <p>FIRE EXTINGUISHER RE-PURPOSED, SURFACE MOUNT (FEE)</p> <p>DETAIL (X AXXX)</p> <p>PROPOSED ELEVATION (TOP OF FIN. FLOOR EL. + 'X'-X')</p> <p>BUILDING SECTION (X AXXX)</p> <p>BUILDING ELEVATION (X AXXX)</p> <p>WALL SECTION (X AXXX)</p> <p>INTERIOR ELEVATION (X AXXX)</p> <p>COLUMN REFERENCE LINE (X)</p> <p>NEW DOOR (X AXXX)</p>	<p>BASE BID: RAMP WITH RESILIENT TILED FLOORING</p> <p>ADD ALTERNATE 1: PROVIDE ADA LIFT IN LIEU OF RAMP</p> <p>ADD ALTERNATE 2: ADD SIGNAGE TO EXTERIOR OF BUILDING</p> <p>ADD ALTERNATE 3: RESTORE EXISTING TERRAZZO FLOORING</p> <p>ADD ALTERNATE 4: VINYL APPLIED CUSTOM MURAL/DIGITAL IMAGE</p> <p>REVISION: 11.11.24</p> <p>CoP PERMIT APPLICATION REVISION: 11.11.24</p> <p>PROJECT NUMBER: 2024-0240</p> <p>STATUS: ISSUED FOR CONSTRUCTION</p>

PROJECT NAME:
STATE THEATRE LOBBY EXPANSION

609 CONGRESS STREET
 PORTLAND, MAINE 04101



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REVISION	DATE
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE

DATE OF ISSUE: SEPTEMBER 09, 2024
 PROJECT NUMBER: 2024-0240
 STATUS: ISSUED FOR CONSTRUCTION

COVER SHEET

G001

CODE SUMMARY:

APPLICABLE CODES

Maine Uniform Building and Energy Code "MUBEC":

- 2015 International Building Code (IBC)
- 2015 International Existing Building Code (IEBC)
- 2021 International Energy Conservation Code (IECC) (City of Portland)
- 2016 ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality
- 2016 ASHRAE90.1 - Energy Standard for Buildings except Low-Rise Residential Buildings (editions without addend)
- 2021 Uniform Plumbing Code (UPC)
- 2015 International Mechanical Code (IMC)
- 2023 National Electrical Code (NEC)

Fire / Life Safety:

NFPA Life Safety Code as adopted by the State of Maine
Including but not limited to:

- 2018 NFPA 001: Fire Code
- 2018 NFPA 101: Life Safety Code
- 2016 NFPA 13: Installation of Sprinkler Systems, [2010 Edition through Equivalency]
- Portland City Code, Chapter 10: Fire Prevention and Protection

Accessibility:

2010 ADA Standards for Accessible Design

NOTE: All codes shall include changes/amendments by the State of Maine

OCCUPANCY CLASSIFICATION

(IBC Sec 302, 303, 304, 508.2) (NFPA 101)
B - Business (accessory occupancy)
A-1 - Concert Hall (primary use)

AUTOMATIC SUPPRESSION SYSTEM

(NFPA 13)

Automatic sprinkler system to be provided per NFPA 13 throughout

GENERAL BUILDING INFORMATION AND ALLOWABLE BUILDING HEIGHTS AND AREA

Proposed Area of Work: 1,090 SF (8.8% of Existing Main Level Area)
(Addition to existing Theatre space through connection to adjacent tenant space.)

Existing Theatre Area:	15,810 SF	MAIN LEVEL AND CONCOURSE AREA
	2,929 SF	UPPER CONCOURSE AREA
	5,462 SF	BALCONY SEATING AREA
	24,201 SF	TOTAL

Allowable Building Height

(IBC Chapter 5, Table 504.3, 504.4) (NFPA)

No Change to Existing overall building envelope.

Allowable Building Area (508.1, Table 506.2)

No Change to Existing overall building envelope.

MAIN LEVEL OCCUPANCY (PER IBC CHAPTER 3)	CONSTRUCTION TYPE (PER IBC CHAPTER 6)	ALLOWABLE AREA (IBC TABLE 506.2)	AREA EXIST	AREA EXP	AREA TOTAL
A-1	IIB	25,500 SF	15,810 SF	1,090 SF	16,900 SF

REQUIRED OCCUPANCY SEPARATIONS

(IBC Table 504.4)
(NFPA) TABLE 6.1.14.4.1
A to S-2 (NONE)

TYPES OF CONSTRUCTION

(IBC Table 601, Sec 602)
(NFPA 220)
Type IIB, SPRINKLERED

FIRE RESISTIVE RATINGS

(IBC Table 601, 602), (NFPA Table A.8.2.1.2)

	TYPE IIB	II (0,0,0)
STRUCTURAL FRAME	0	0
BEARING WALLS, EXTERIOR AND INTERIOR	0	0
NON-BEARING WALLS AND PARTITIONS, EXTERIOR	0	0
NON-BEARING WALLS AND PARTITIONS, INTERIOR	0	0
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0	0
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0	0

OCCUPANT LOAD

(IBC Table 1004.1.2, 1029.4) / (NFPA 101 Table 7.3.1.2, 13.1.7.2)
Assembly 5 Net Sqft per Occupant (standing) / 3 Net Sqft per Occupant (waiting spaces)
Business 100 / 150 Gross Sqft per Occupant
Chair Cart Areas 300 / 500 Gross Sqft per Occupant (sim. to storage) (part time use)

MEANS OF EGRESS

(IBC Chapter 10, NFPA 101 Chapter 7.13)

EGRESS WIDTH PER OCCUPANT

(IBC 1005.1)
(IEBC Table 1301.6.11(1))

0.2 Inches for other egress components

EXIT ACCESS

Common path of egress travel

(IBC 1029.8)
For Assembly <30'
(NFPA 101 12.2.5.1.2 / Table A.7.6)
For Assembly <20'

Travel Distance

(IBC 1017.1, 1017.2.2) / (NFPA TABLE A.7.6)
For Assembly 250'

Corridor Fire Resistance

(IBC 1020.1)
0 hours with sprinkler system

Corridor Width

(IBC 1020.2), (NFPA 101 14.2.3.2)
Not less than 44"

Dead-End Corridor

(IBC 1020.4, IEBC 705.6), (NFPA 101 14.2.6.3, Table A.7.6)
Dead-end corridors in occupancy A-1 <20'

OCCUPANT LOADS (IBC 2015 TABLE 1004.1.2)

USE	AREA (GROSS SF)	SF / OCCUPANT	TOTAL OCCUPANTS
ASSEMBLY (STANDING)	378 NET	5 NET	76
CHAIR AREAS	369	300	2
BUSINESS (ACC)	103	100	2
TOTAL OCCUPANTS			80

*NOTE: CHAIR CARTS TO BE STORED IN THIS LOCATION, REGARDLESS OF CHAIRS SET UP IN THEATRE.

OCCUPANT LOADS (NFPA 101, TABLE 7.3.1.2)

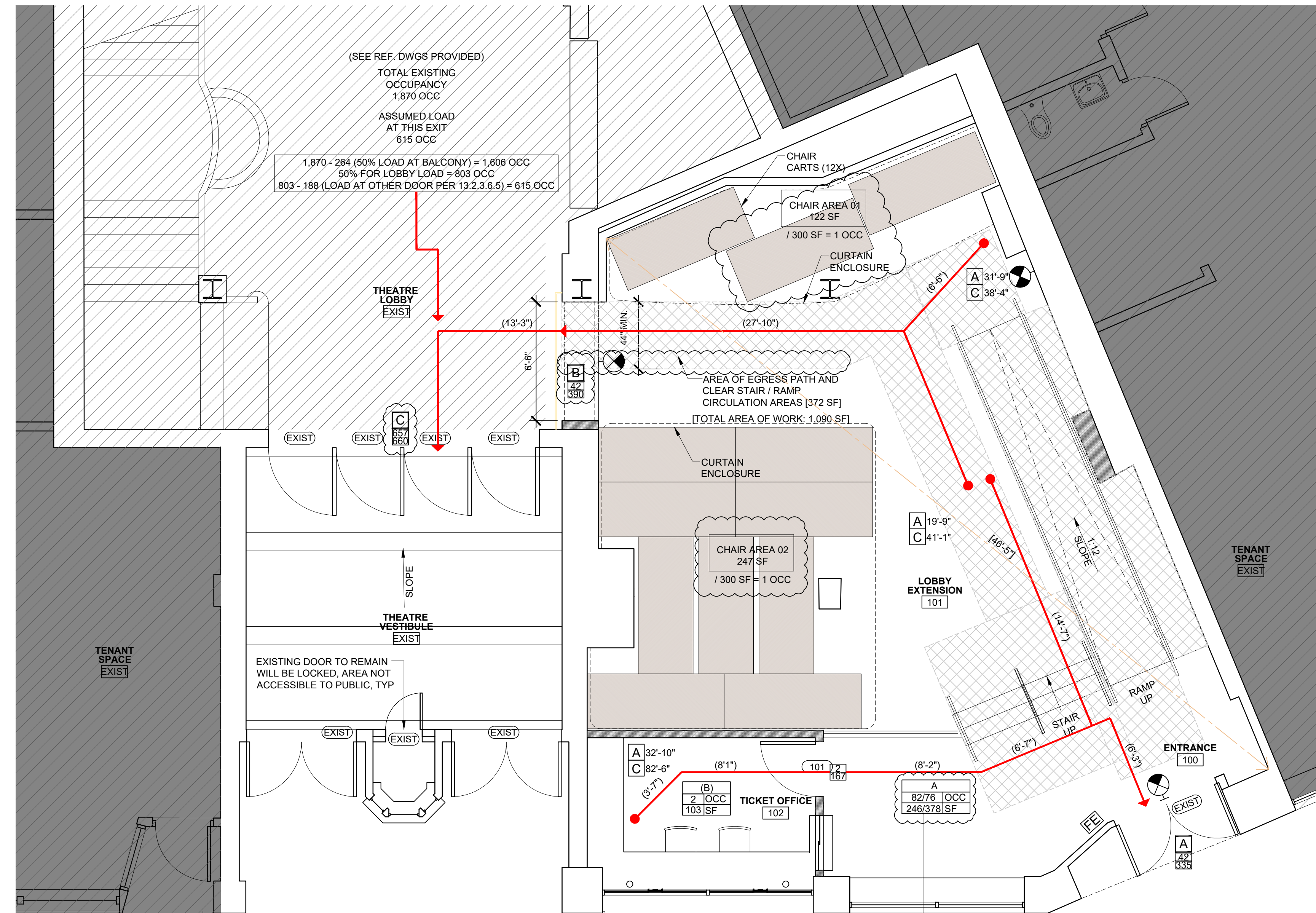
USE	AREA (GROSS SF)	SF / OCCUPANT	TOTAL OCCUPANTS
ASSEMBLY (WAITING, 13.1.7.2)	246 NET	3 NET	82
CHAIR AREAS	369	500	1
BUSINESS (ACC)	103	150	1
TOTAL AGGREGATE OCCUPANTS			84

*NOTE: CHAIR CARTS TO BE STORED IN THIS LOCATION, REGARDLESS OF CHAIRS SET UP IN THEATRE.

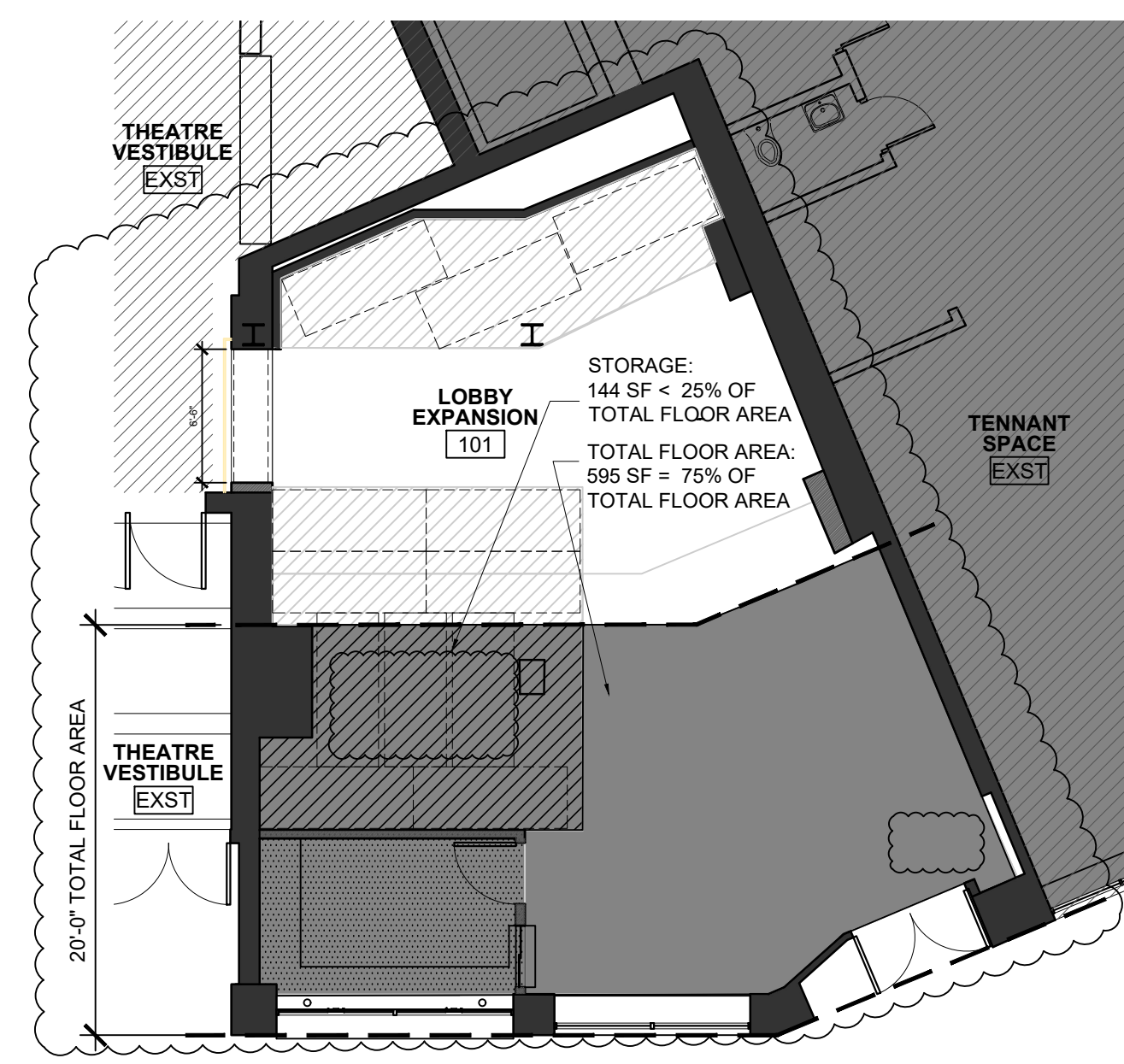
EGRESS CAPACITY (IBC 2015) / (NFPA 101)

DOOR / STAIR	EGRESS WIDTH	CAPACITY	LOAD
[A] DOOR - 72"	67"	1/2 = 335 occ	40/42 occ
[B] OPENING	78"	1/2 = 390 occ	40/42 occ
[C] DOOR - 36" x 4	33.5" x 4	1/2 = 660 occ *	657 occ (615 + 42)
STAIR	100"	1/3 = 333 occ	42 occ

*NOTE: 660 CAPACITY AT EXISTING VESTIBULE IS BASED ON PREVIOUSLY APPROVED LIFE SAFETY PLAN.



1 LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"



2 PAD OVERLAY DIAGRAM
SCALE: 1/8" = 1'-0"

LIFE SAFETY PLAN LEGEND:

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- FIRE EXTINGUISHER
- ILLUMINATED EXIT SIGN / EMERGENCY LIGHT
- OCCUPANCY, (##) DENOTES ACCESSORY USE
- OCCUPANTS
- ROOM AREA
- OCCUPANT EGRESS LOAD AT DOOR
- DOOR OCCUPANT CAPACITY
- DIRECTION OF EGRESS
- EXIT KEY
- [X]xxx' DISTANCE TO EXIT
- [XX'-X'] DIAGONAL / SEPARATION DISTANCE
- [XX'-X'] PATH OF EGRESS (LEG DISTANCE)

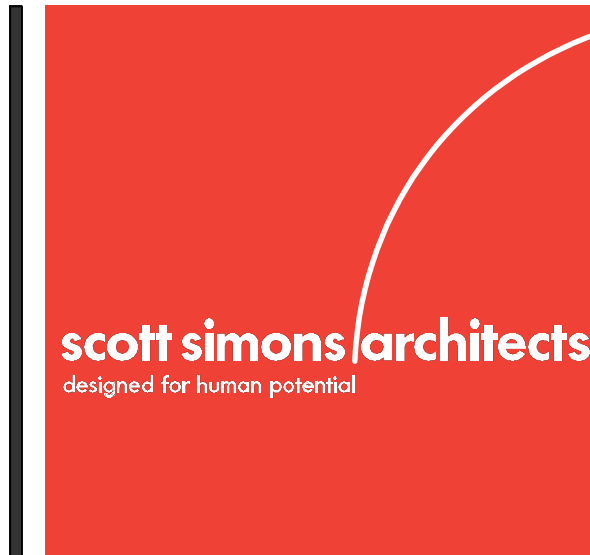
PAD OVERLAY REQUIREMENTS

PER SUBSECTION 8.7.1 + 8.7.4 EXCEPTIONS

- 20'-0" PAD OVERLAY ZONE
- CART STORAGE
- TICKET OFFICE

NOTES:

- THESE LIFE SAFETY PLANS ARE MEANT TO SHOW CONFORMANCE WITH THE REGULATIONS EXISTING AT THE TIME OF CONSTRUCTION, OR AS INDICATED IN THE CODE SUMMARY NOTES. THESE DOCUMENTS ARE A COMPILATION OF EXISTING CONSTRUCTION DOCUMENTS, EXISTING CONDITIONS AS OBSERVED IN THE FIELD, AND CURRENT PROGRAMMATIC USE STATEMENTS. THOUGH THE INTENT IS TO ACCURATELY REFLECT THE CURRENT CONDITIONS OF THE BUILDING, AN AS-BUILT SURVEY WAS NOT CONDUCTED FOR THE COMPLETION OF THESE DRAWINGS; SOME CONDITIONS MAY DIFFER SLIGHTLY FROM THOSE SHOWN.
- SEE A101 FOR PARTITION TYPE (SEPARATION NOT REQUIRED FOR ACCESSORY OCCUPANCY); SEE RCP FOR EMERGENCY FIXTURES.
- FP AND E-SERIES DWGS TO BE SUBMITTED BY OWNER'S VENDOR FOR FIRE PROTECTION, FIRE ALARM SYSTEMS AND EMERGENCY LIGHTING.
- ALL LIFE SAFETY SYSTEMS, INCLUDING SPRINKLER SYSTEMS, FEEDING AREAS REMAINING OPERATIONAL DURING CONSTRUCTION ARE TO REMAIN FULLY FUNCTIONAL THROUGHOUT CONSTRUCTION. PLANNED INTERRUPTIONS IN SERVICE ARE TO BE FULLY COORDINATED WITH OWNER IN ADVANCE.
- THE THEATRE IS TO REMAIN FULLY OPERATIONAL DURING CONSTRUCTION. CONTRACTOR IS TO SEQUENCE WORK SUCH THAT THE DEMISING WALL BETWEEN SPACES REMAINS IN TACT UNTIL LAST PHASE OF CONSTRUCTION, AND WILL COORDINATE THE SCHEDULE WITH THE THEATRE TO COMPLETE THE OPENING WHEN THE THEATRE IS DARK (CLOSED TO THE PUBLIC). A TEMPORARY PARTITION WILL BE PROVIDED UNTIL FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY CAN BE OBTAINED, IF NECESSARY.
- NO CHANGE TO EXISTING TICKETED OPERATIONS CAPACITY IS PROPOSED. EXISTING MAX. CAPACITY OF 1870 OCCUPANTS TO REMAIN. SEE SUPPORTING OPERATIONS MEMORANDUM.
- A101 EX AND A102 EX, AS WELL AS 2012 UPDATE SKETCH HAVE BEEN INCLUDED FOR REFERENCE TO SHARE EXISTING OVERALL EGRESS CAPACITIES FOR ENTIRE THEATRE. LOADS REFERENCED HERE REFLECT THOSE DOCUMENTS.
- CHAIR CARTS ARE ENCLOSED BEHIND CURTAINS; PATRONS AND STAFF MAY USE THIS ADDITIONAL SECONDARY ENTRANCE TO ACCESS THE TICKET OFFICE OF MAIN THEATRE LOBBY WHEN THE THEATRE IS OPEN, OR ACCESS THE THEATRE LOBBY AND RESTROOMS WHEN STAFF OCCUPIED. PUBLIC THEATRE EVENTS HAVE A MONITORED MAXIMUM OCCUPANCY OF 1,870 OCCUPANTS PER OPERATIONS MEMORANDUM.
- WHEN CHAIRS ARE IN USE, CARTS WILL BE RETURNED TO ENCLOSURES.
- SEE SUPPLEMENTAL DIAGRAM SHOWING BUILDING COMPLIANCE OF PEDESTRIAN ACTIVITIES DISTRICTS (PAD) OVERLAY REQUIREMENTS.

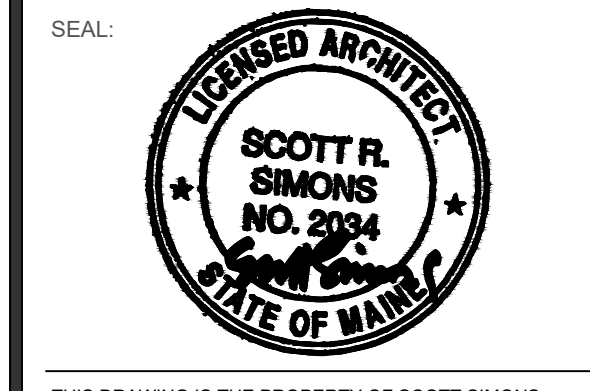


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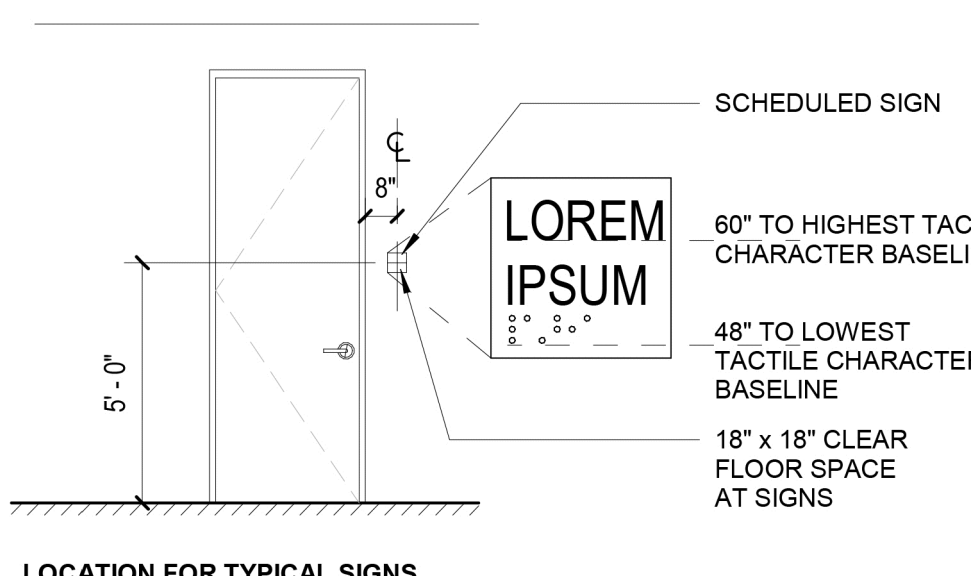
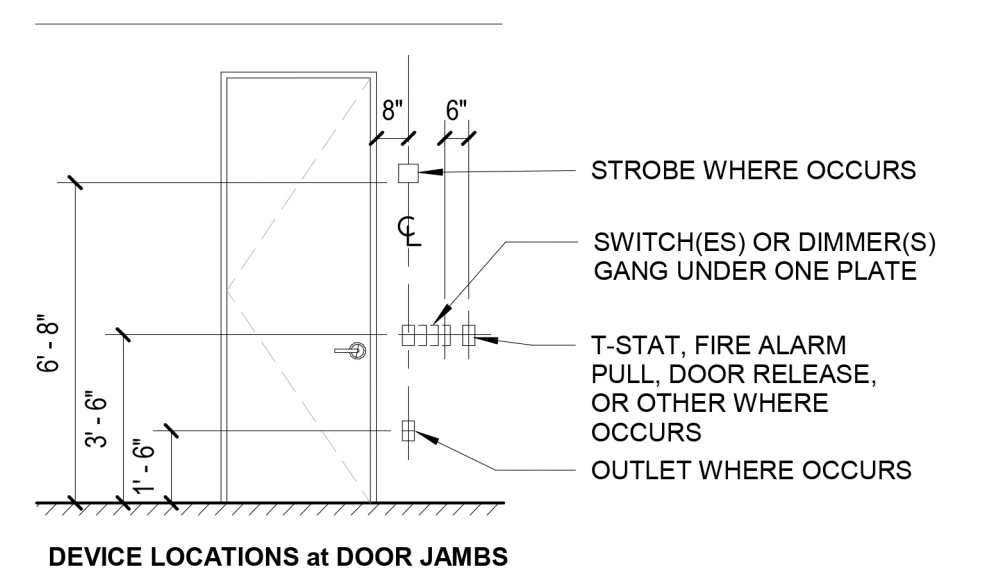
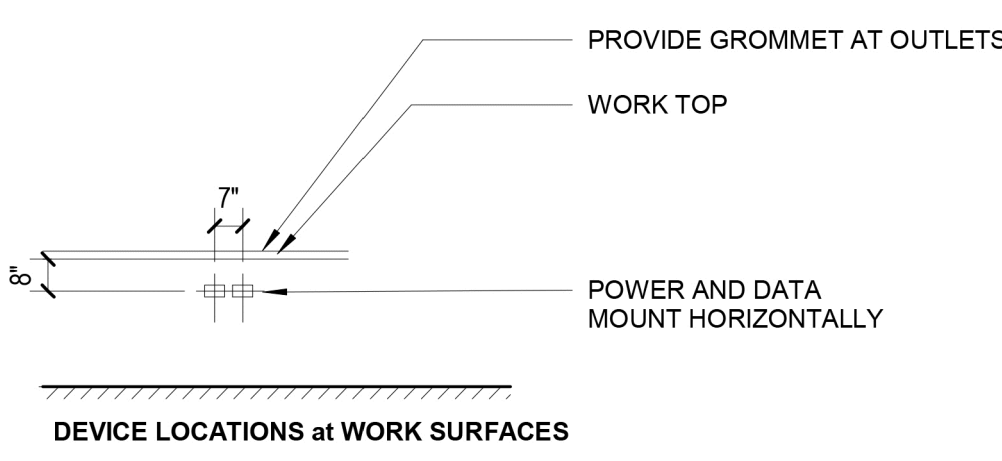
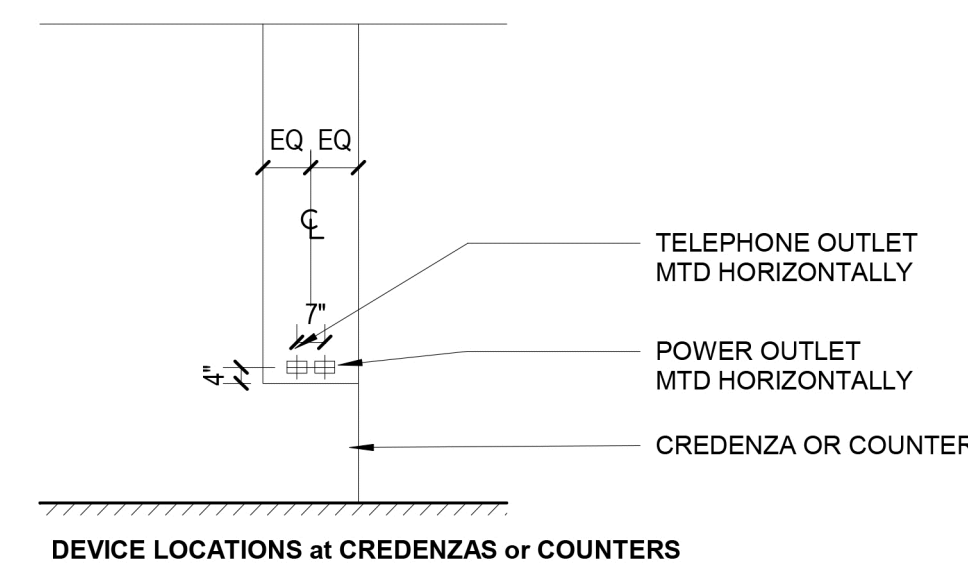
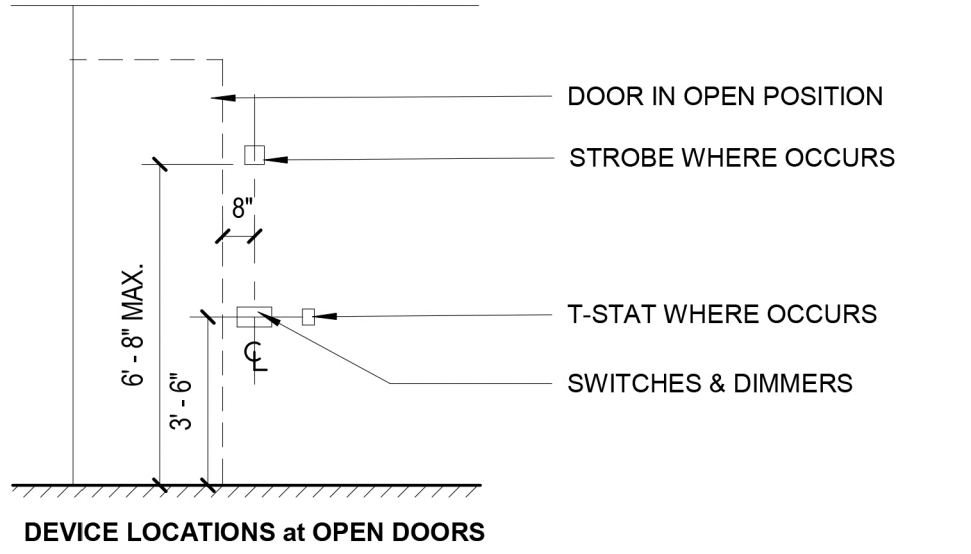
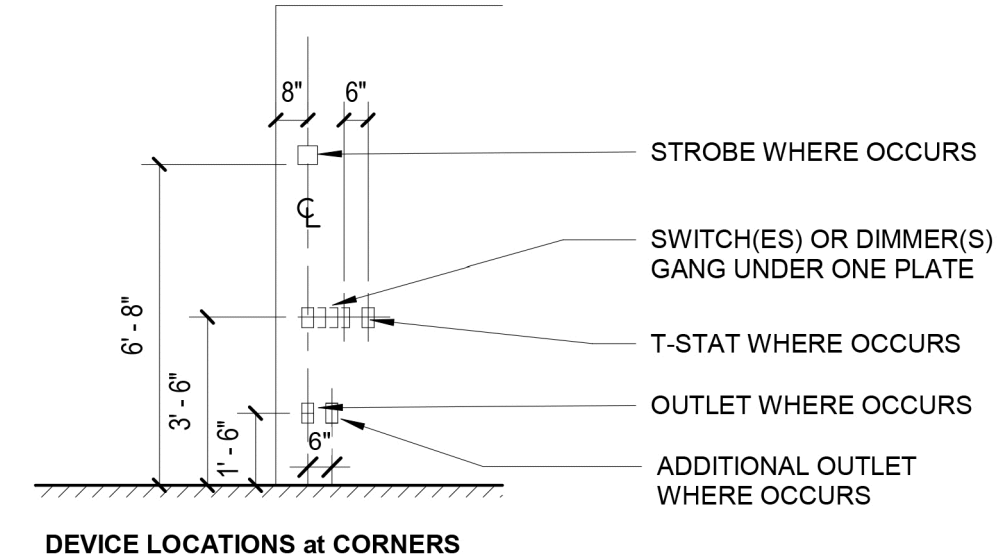
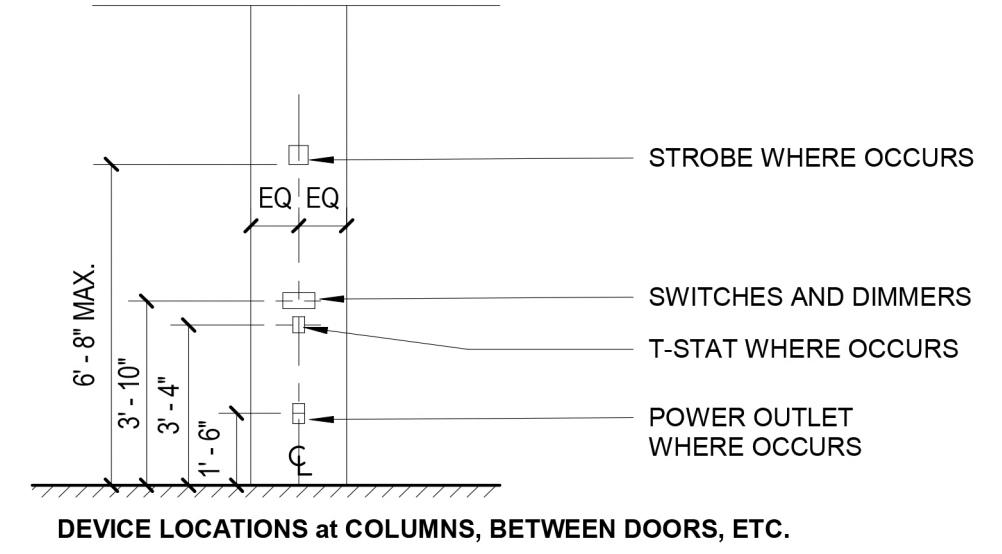
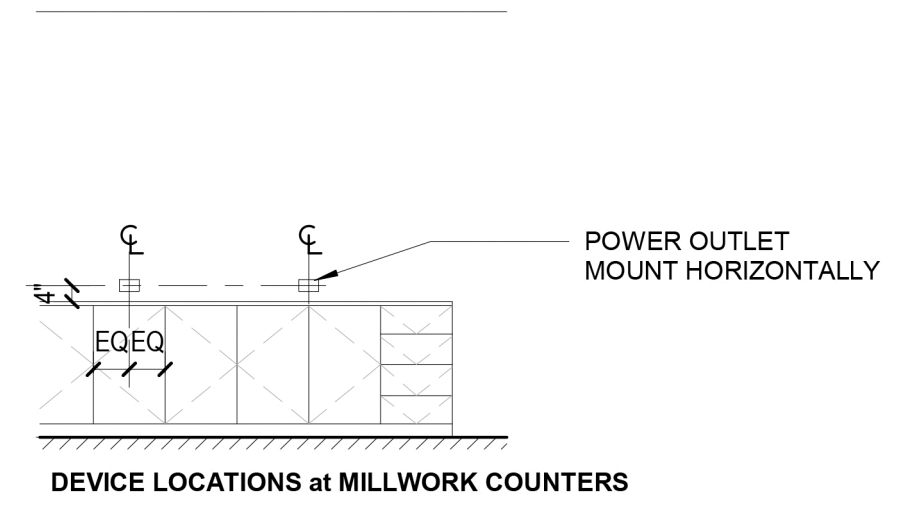
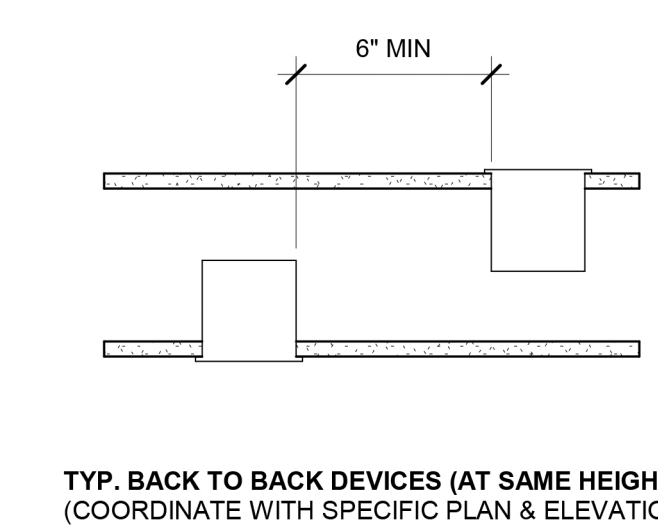
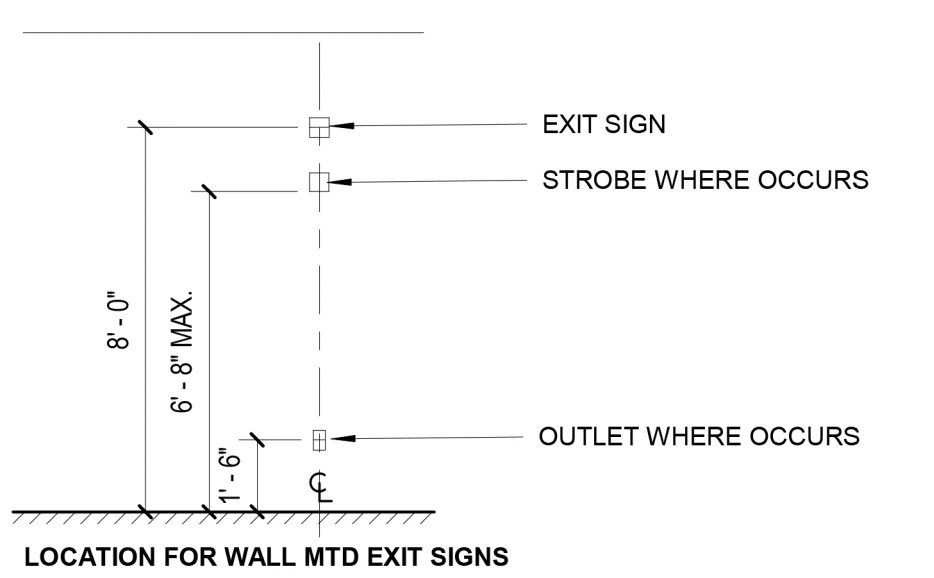
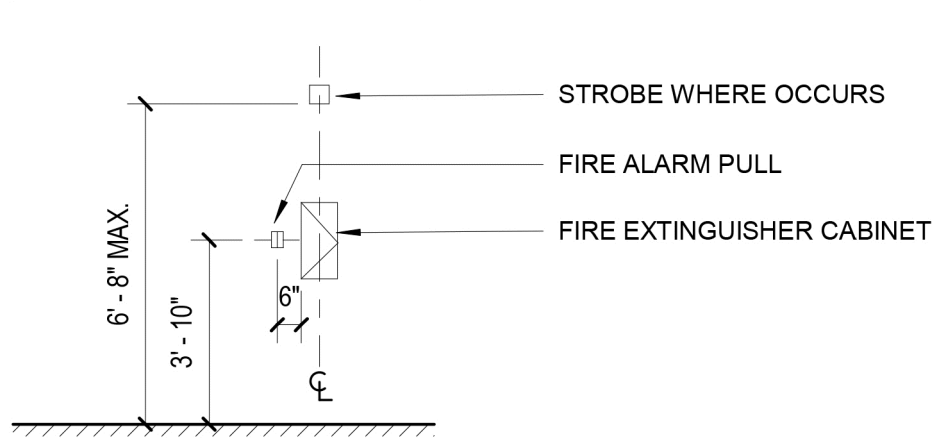
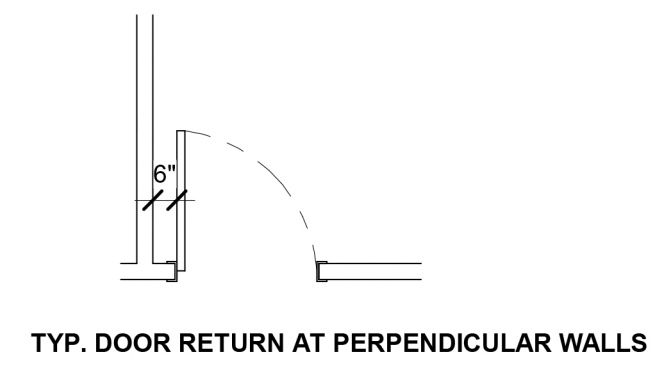
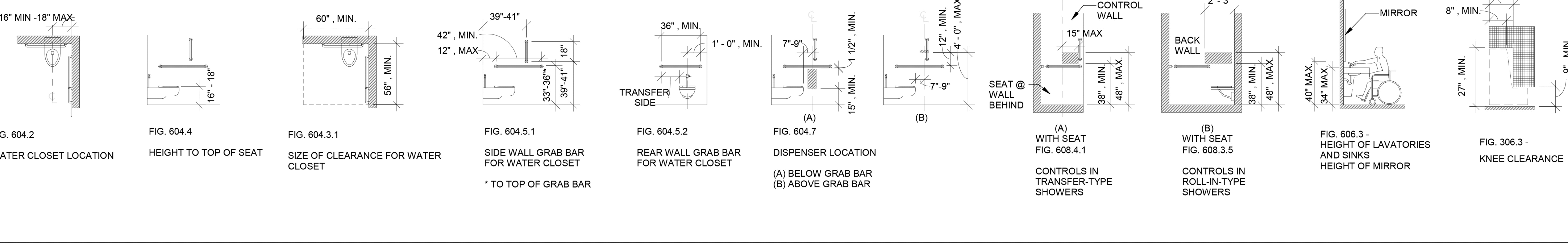
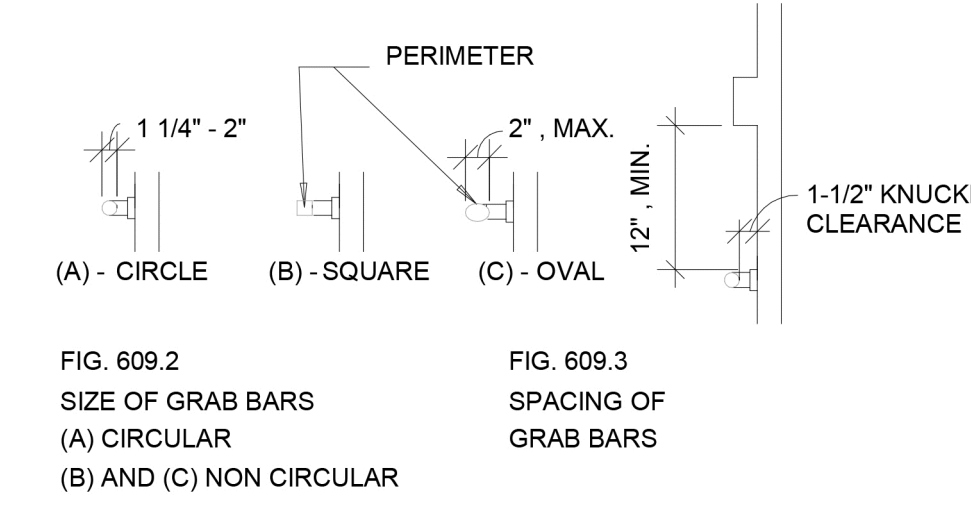
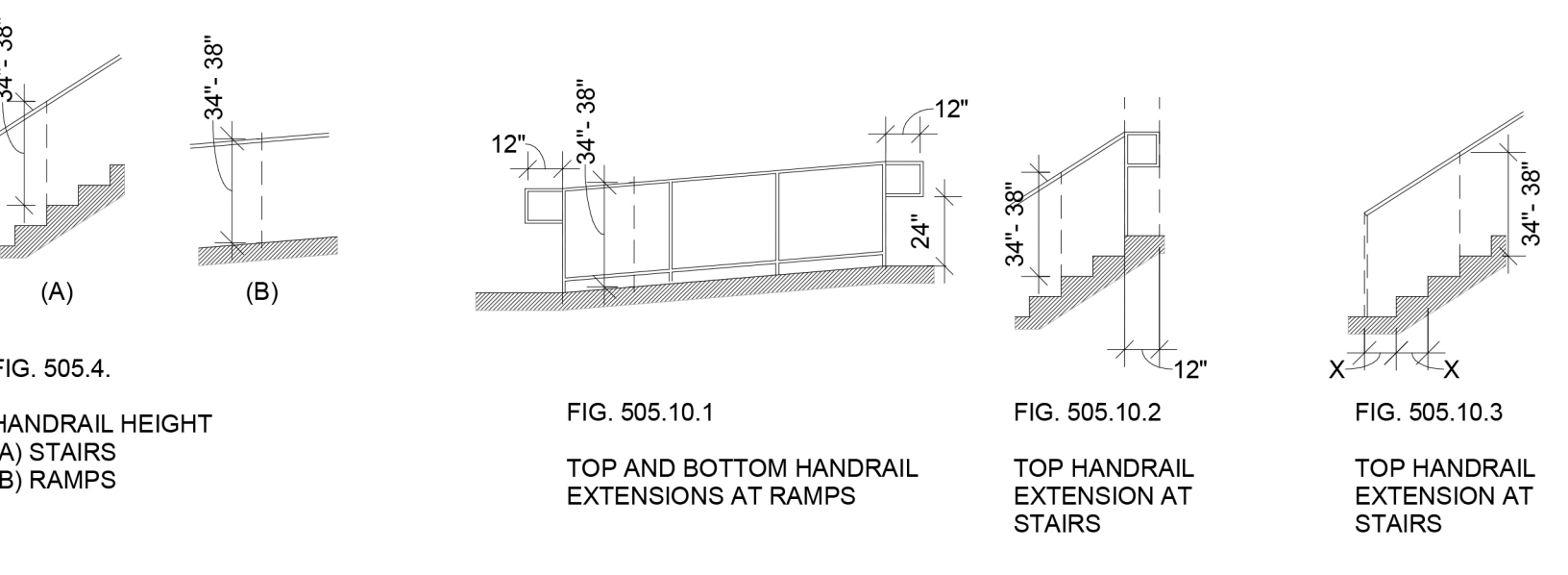
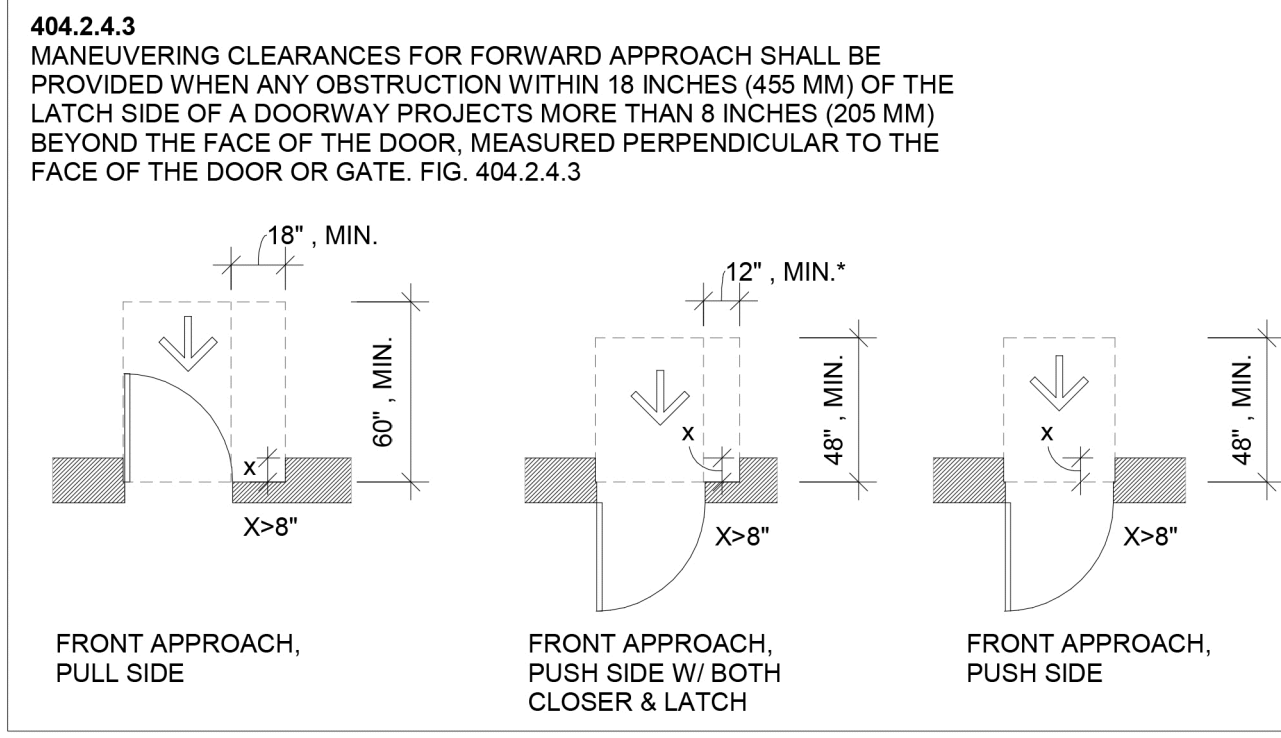
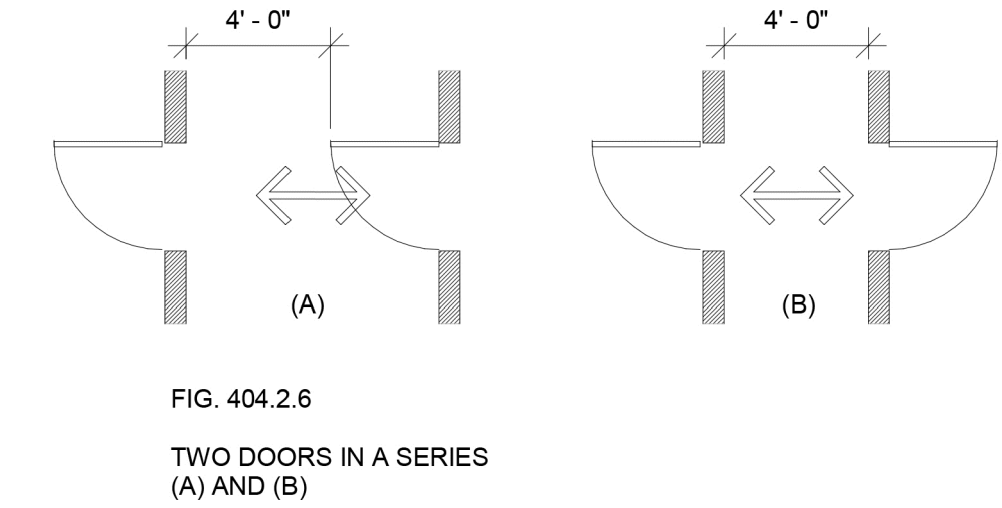
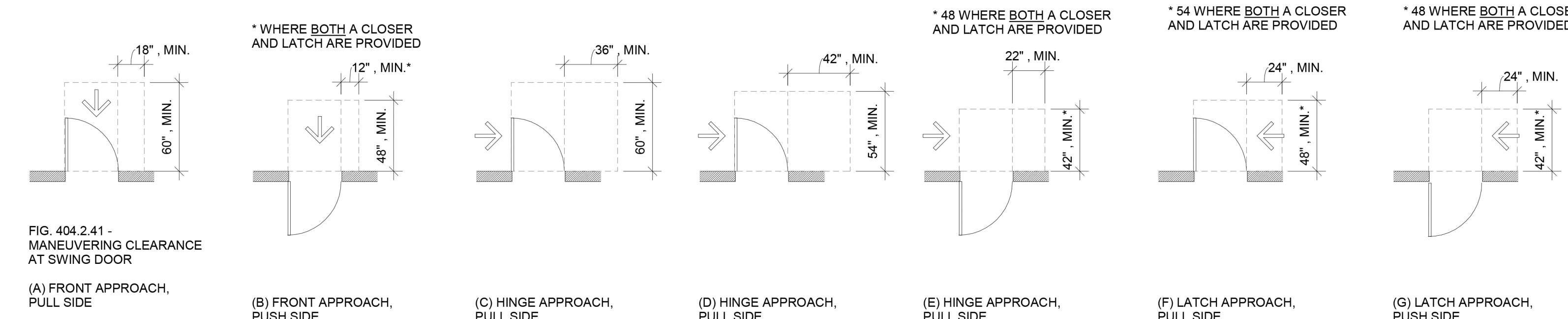
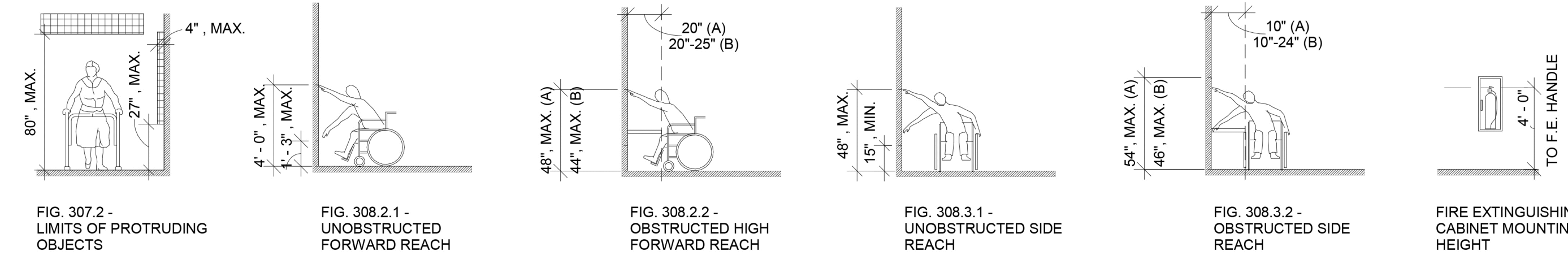
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LIFE SAFETY PLAN LOBBY EXPANSION

G002



NOTES:
A. CONTRACTOR TO COORDINATE LOCATION OF STUDS IN PARTITION TO ACHIEVE INTENT. PROVIDE ADDITIONAL STUDS/BRACING AS NEEDED. PROVIDE SOUNDLINERS AT DEVICE BACK BOXES WHERE DEVICES ARE LOCATED IN PARTITIONS WITH INSULATION.
B. DIMENSIONS ARE TO CENTER LINE OF DEVICES. TYP. FIRE STROBE DIMENSION IS TO THE BOTTOM OF THE DEVICE.
C. TOP OF ACCESSIBLE DEVICES NOT TO EXCEED 48" AFF.
D. BOTTOM OF ACCESSIBLE DEVICES TO BE NO LOWER THAN 18".
E. ALL DEVICES WITHIN 6'-0" OF ANOTHER TO BE ALIGNED PER THE DIAGRAMS ON THIS PAGE.

PROJECT NAME:
STATE THEATRE LOBBY EXPANSION

609 CONGRESS STREET
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COVER SHEET

G003

DEMO NOTES: BASE BID INTERIOR

- | | | |
|---|---|--|
| <p>1 BASE BID EXISTING INTERIOR TICKET BOOTH COMPONENTS TO BE DEMOLISHED, COMPLETE. ADD ALT 2: HISTORIC EXTERIOR ELEMENTS TO BE REMOVED W/ CARE + FURNISHED BY OWNER, PENDING H.P. APPROVAL.</p> <p>2 EXISTING NON-STRUCTURAL TERRACOTTA WALL TO BE DEMOLISHED, COMPLETE.</p> <p>3 EXISTING GYP. WALL TO BE DEMOLISHED, COMPLETE.</p> <p>4 EXISTING STAIRS + FRAMING TO REMAIN.</p> <p>5 EXISTING DOOR, TRIM AND JAMB TO BE DEMOLISHED, COMPLETE.</p> <p>6 EXISTING VAULT + ENCLOSURES TO BE REMOVED, COMPLETE FURNISH TO OWNER.</p> <p>7 EXISTING PLUMBING FIXTURES, + PIPING TO BE REMOVED, COMPLETE, OR CAPPED AS ALLOWED INSIDE WALL. COORD. W/ PLUMBING CONTRACTORS DESIGN ASSIST SCOPE.</p> | <p>8 EXISTING FINISH FLOORING TO BE REMOVED, COMPLETE TO EXPOSE ORIGINAL TERRAZZO. TERRAZZO CONDITION TO BE ASSESSED + PREPPED FOR NEW FLOORING OR ADD ALT 3: TO BE RESTORED PER A101.</p> <p>9 EXISTING INTERIOR VESTIBULE, WALLS, GLAZING AND JAMBS TO BE REMOVED, COMPLETE.</p> <p>10 EXISTING COLUMNS TO REMAIN, TYP.</p> <p>11 EXISTING STOREFRONT WINDOW TO BE REMOVED, COMPLETE.</p> <p>12 EXISTING HEATER + VENT TO BE REMOVED, COMPLETE, SEE MECHANICAL DESIGN ASSIST SCOPE.</p> <p>13 REMOVE EXISTING COLUMN CASING, KEEP EXISTING STEAM + PLUMBING LINE.</p> <p>14 GC TO ASSESS WHETHER WALL ASSEMBLY + FRAMING CAN REMAIN, IF SO DEMO OPENING IN WALL FOR PROPOSED DOOR + SIDELITE.</p> <p>15 REMOVE ENCLOSURES AS NEEDED FOR EXISTING RADIATOR REPAIR WORK, COORD. WITH MECHANICAL CONTRACTORS DESIGN AS PROPOSED.</p> | <p>16 EXISTING ELECTRICAL PANEL TO REMAIN.</p> <p>17 EXISTING MARQUEE ABOVE, NO CHANGE.</p> <p>18 EXISTING ACOUSTIC CEILING ASSEMBLY TO BE REMOVED, COMPLETE, TYP.</p> <p>19 EXISTING LIGHT FIXTURES TO BE REMOVED, COMPLETE, TYP.</p> <p>20 EXISTING MECHANICAL DUCTWORK TO BE REMOVED BACK TO BRANCH, TYP, COORD. W/ MECHANICAL SCOPE.</p> <p>21 DEMO EXISTING SOFFIT, FRAMING + RECESSED LIGHTS, COMPLETE.</p> <p>22 REPAIR EXISTING SOFFIT AND REPAIR TO MATCH EXISTING, PREP FOR NEW LIGHTING.</p> <p>23 DEMO EXISTING HALF WALL + EXISTING PLUMBING CHASE, COORDINATE WITH MECHANICAL/PLUMBING DRAWINGS.</p> <p>24 EXISTING GRILL TO REMAIN.</p> <p>25 DEMO EXISTING HEATER</p> <p>26 EXISTING DOOR, TRIM AND JAMB TO REMAIN</p> |
|---|---|--|

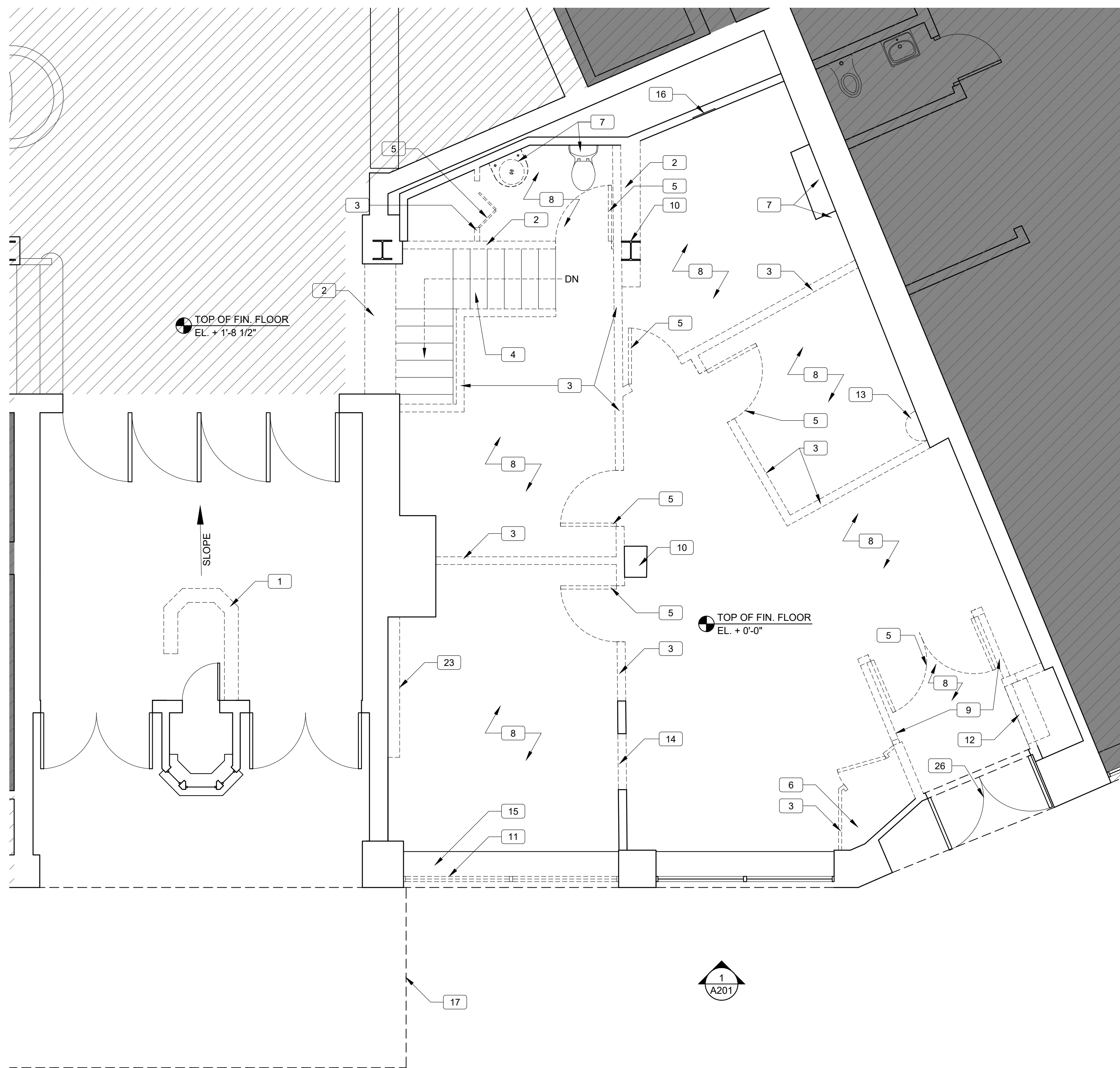
GENERAL NOTES

- NEW WALL
- EXISTING WALL
- OUTSIDE AREA OF WORK
- THEATRE OCCUPIED SPACE
- NON-THEATRE OCCUPIED SPACE
- ADA CLEARANCE

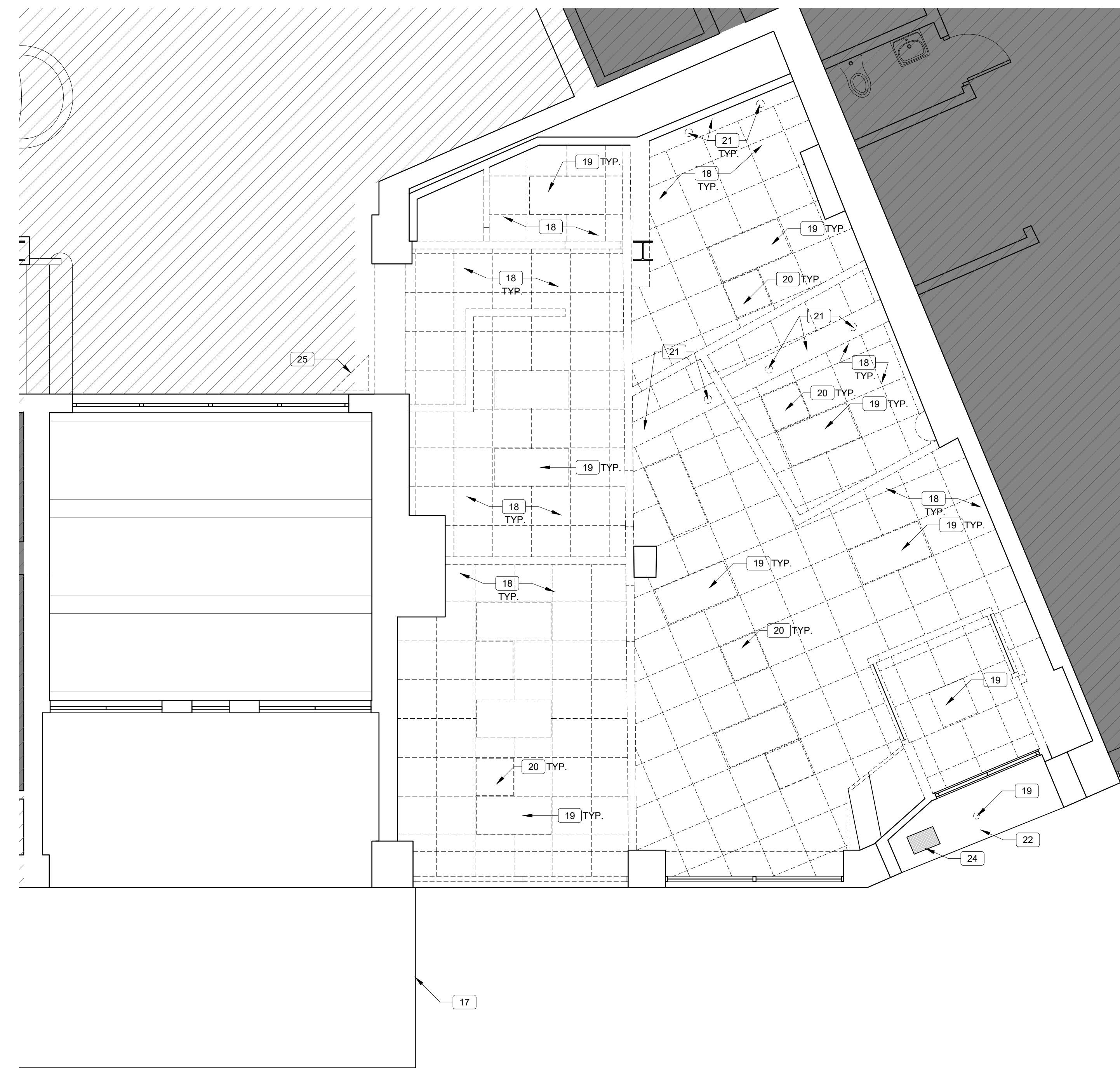
- THEATRE OPERATION TO BE MAINTAINED THROUGH DURATION OF CONSTRUCTION
- SEE A550 FOR FINISH LEGEND
- PROVIDE STEP LIGHTS IN FACE OF STAIR STRINGERS
- MEP + FA ARE DESIGN ASSIST BY OWNERS SUB-CONTRACTORS
- HAZARDOUS MATERIAL TEST WAS PERFORMED ON SITE, NO HAZARDOUS MATERIAL WAS FOUND, NO PLAN TO FOR REMOVAL IS INCLUDED AS A RESULT.
- NEW FIRE STROBES TO BE MOUNTED AT 80" MAX; SEE TYP. MOUNTING SHEET DTLS + CLEARANCE SCHED. OWNERS FIRE ALARM VENDOR TO ADVISE EXACT LOCATION OF NEW AND RELOCATED FIRE ALARM DEVICES.



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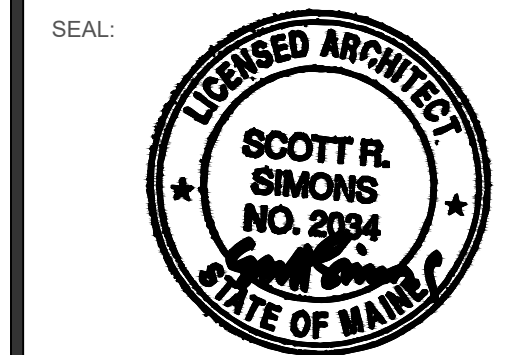
1 DEMO PLAN
SCALE: 1/4" = 1'-0"



2 REFLECTED CEILING DEMO PLAN
SCALE: 1/4" = 1'-0"

PROJECT NAME:
STATE THEATRE LOBBY EXPANSION

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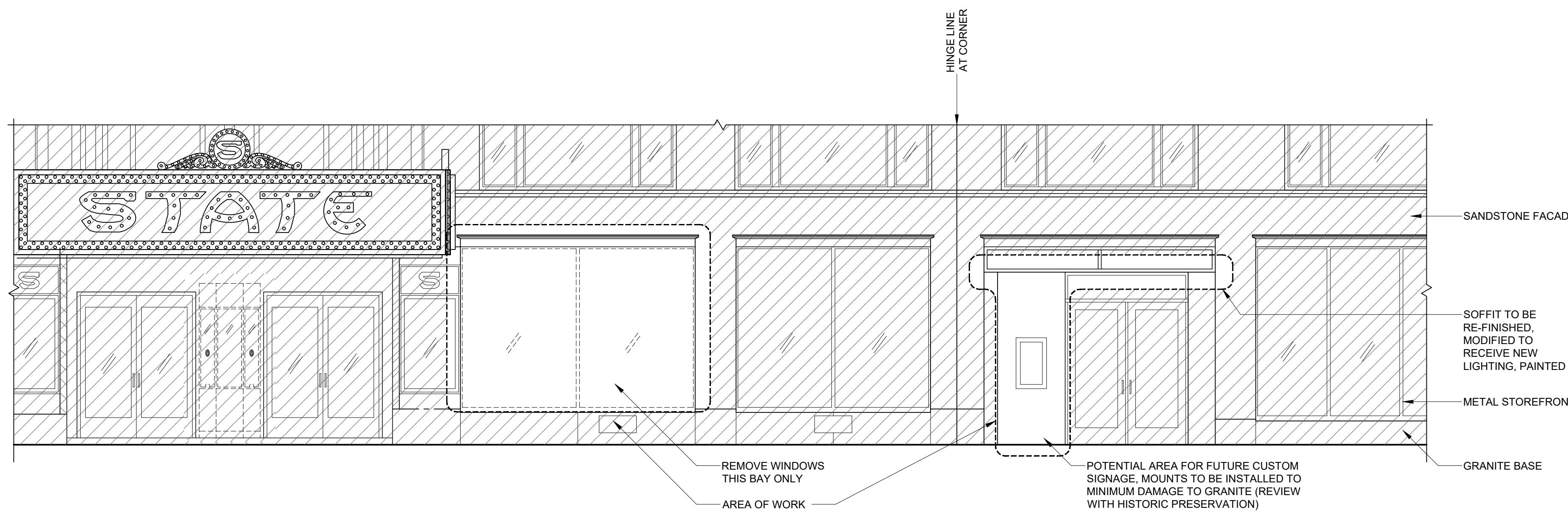
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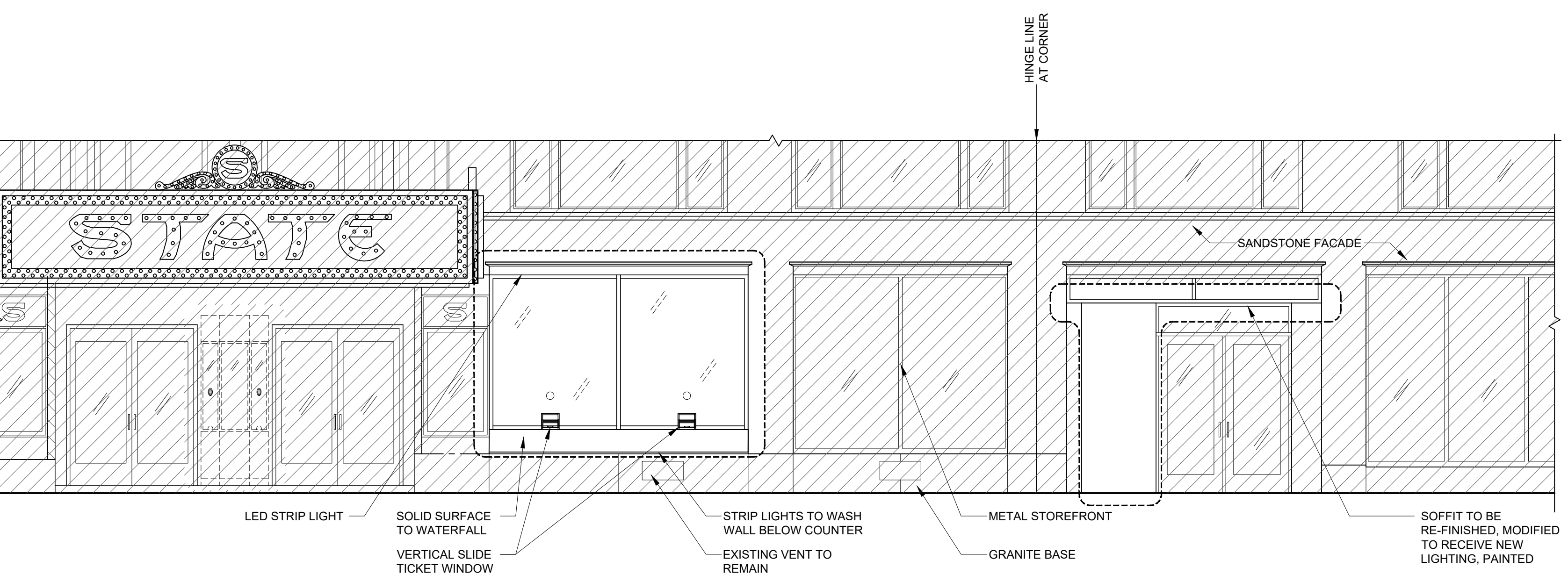
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DEMOLITION PLAN & RCP

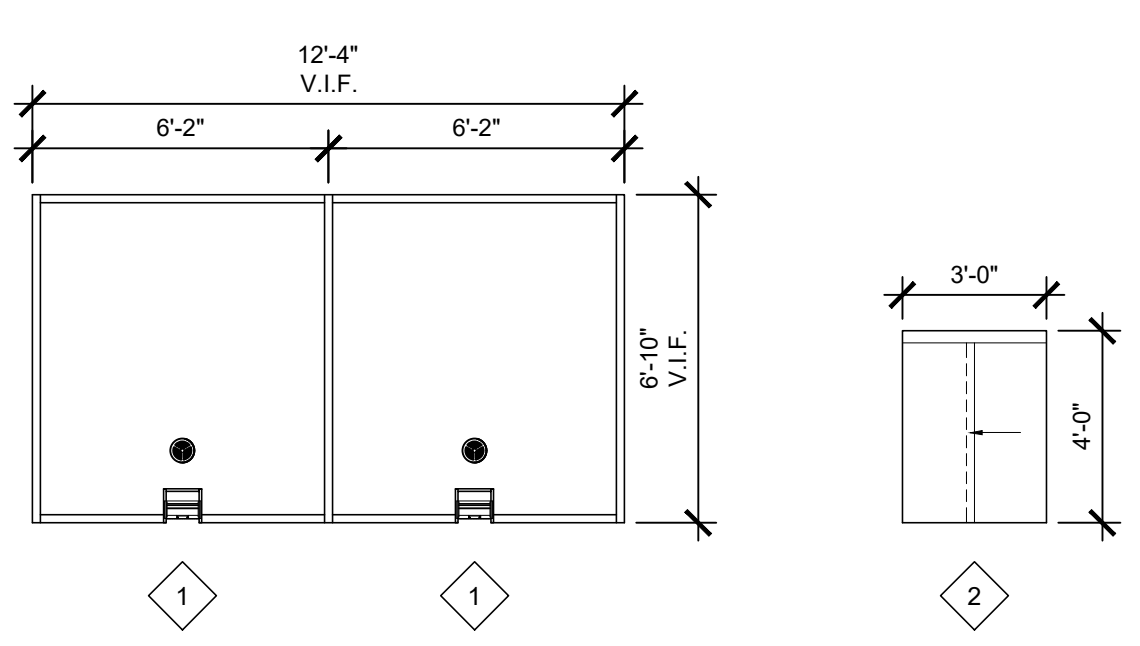
AD101



1 EXISTING FRONT ELEVATION WITH DEMOLITION NOTES
SCALE: 1/4" = 1'-0"

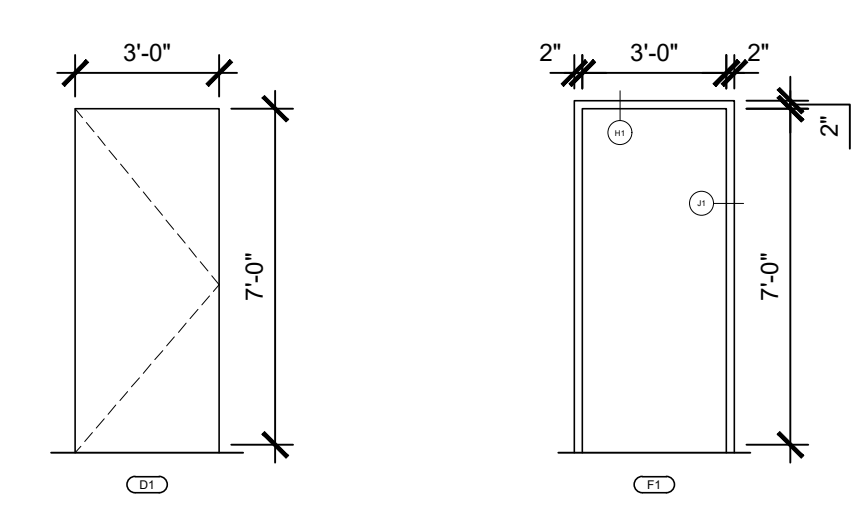


2 PROPOSED FRONT ELEVATION WITH NOTES
SCALE: 1/4" = 1'-0"



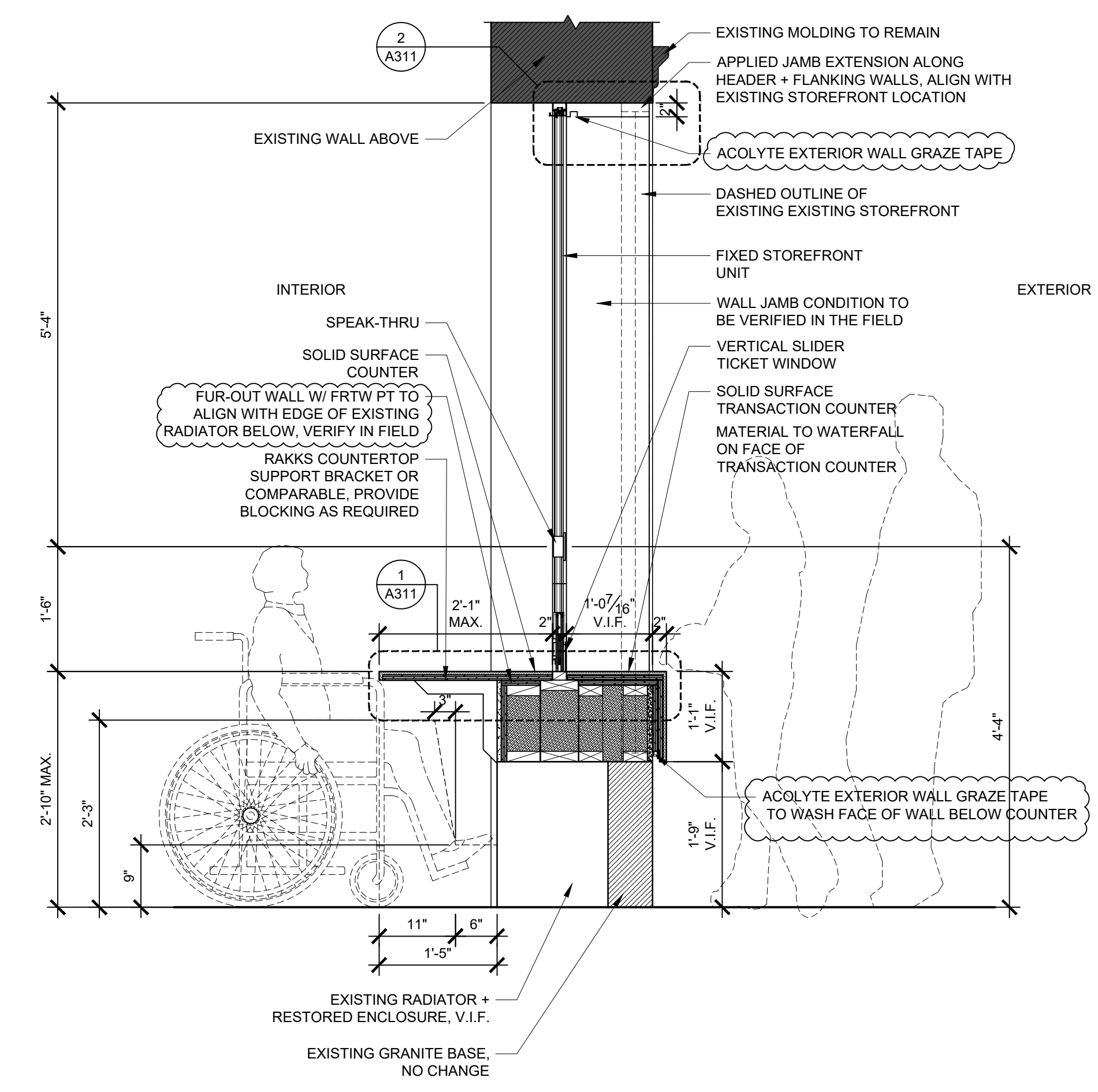
3 WINDOW ELEVATIONS
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
NO.	MANUFACTURER	DESCRIPTION	HEIGHT	WIDTH	RO	INT/EXT COMMENTS
1	QUIKSERV	FIXED/VERT. SLIDING	6'-10"	6'-2"	PER MFQR REG.	ALUM LEVEL 1 BULLET RESISTANT GLASS
2	CRL SHARYN	SLIDING	4'-0"	3'-0"	PER MFQR REG.	



4 DOOR + FRAME ELEVATIONS
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE								
NO.	ROOM	DOOR TYPE	HEIGHT	WIDTH	THICKNESS	FINISH	FRAME	COMMENTS
102	TICKET OFFICE	D1	7'-0"	3'-0"	1 3/4"	HMWD	F1	

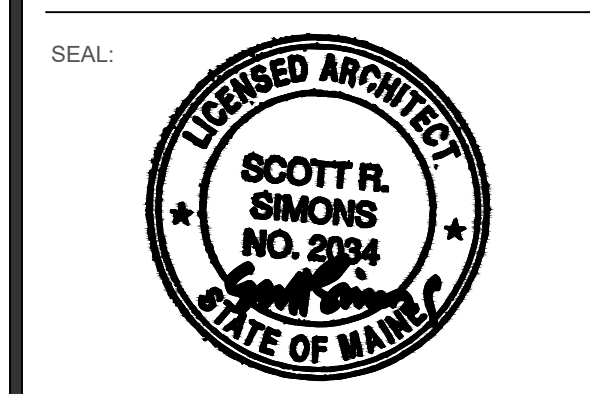


5 EXTERIOR WALL SECTION @ TRANSACTION WINDOW
SCALE: 3/4" = 1'-0"



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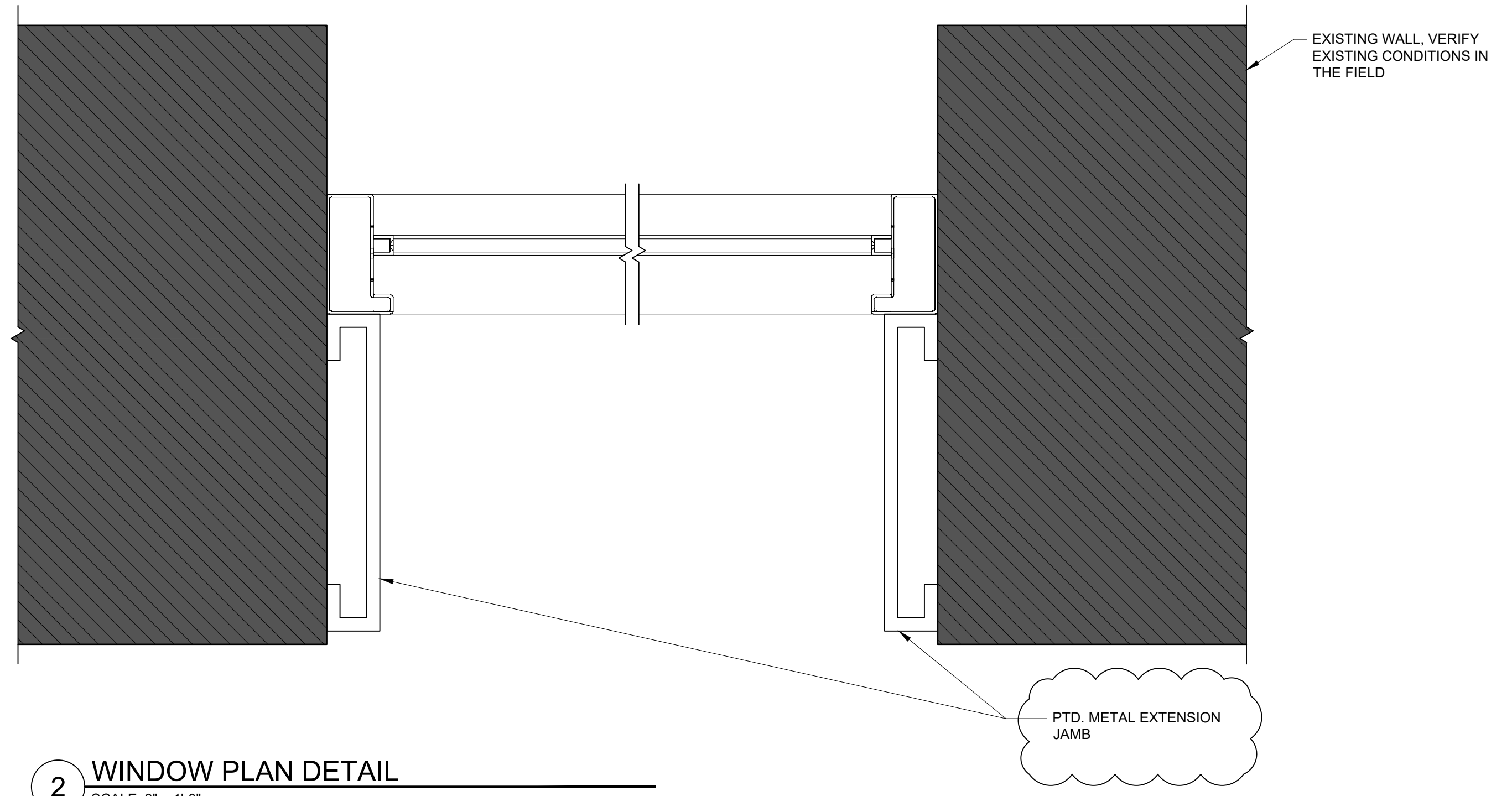
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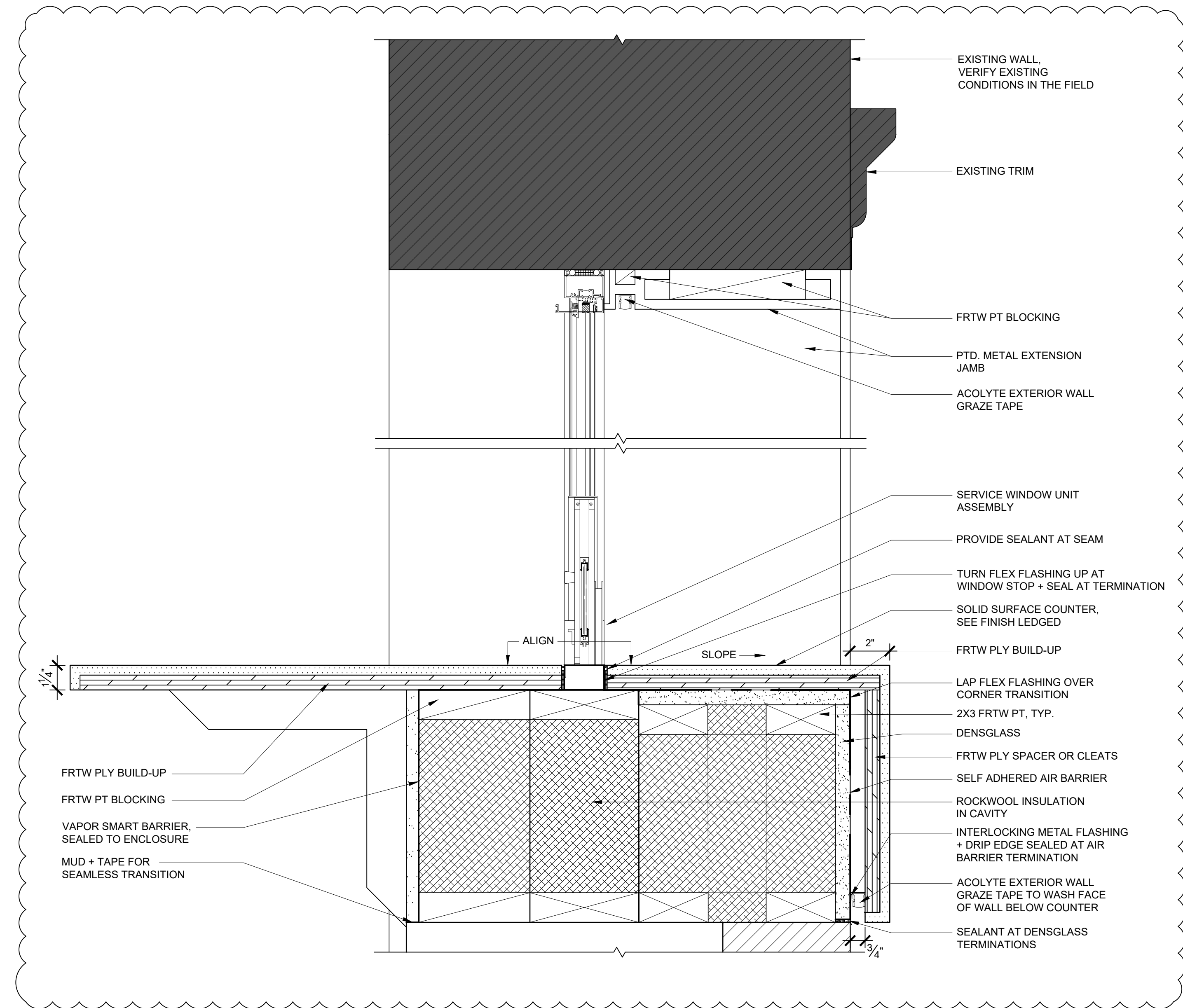
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EXTERIOR ELEVATIONS + DOOR + WINDOW SCHEDULE + WALL SECTION

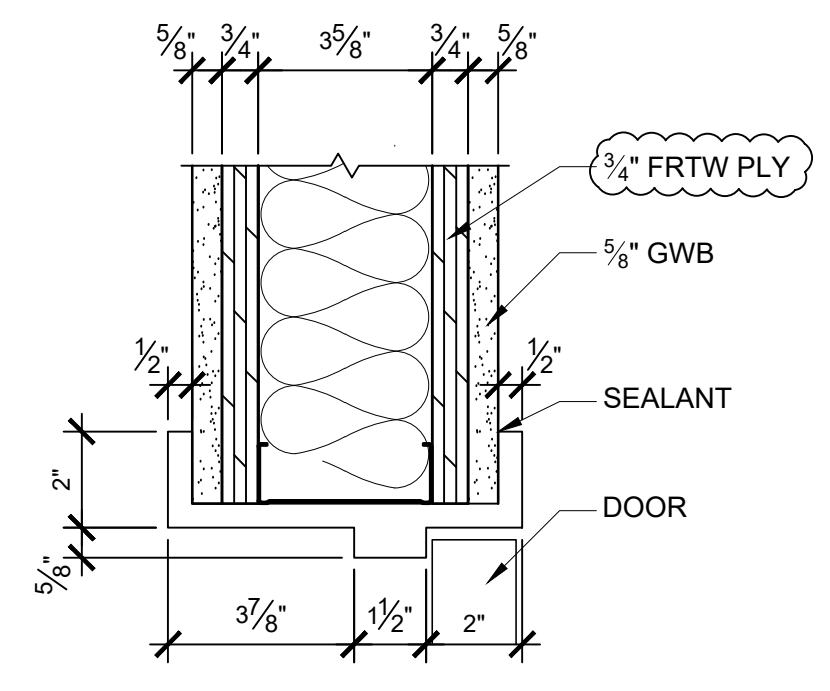
A201



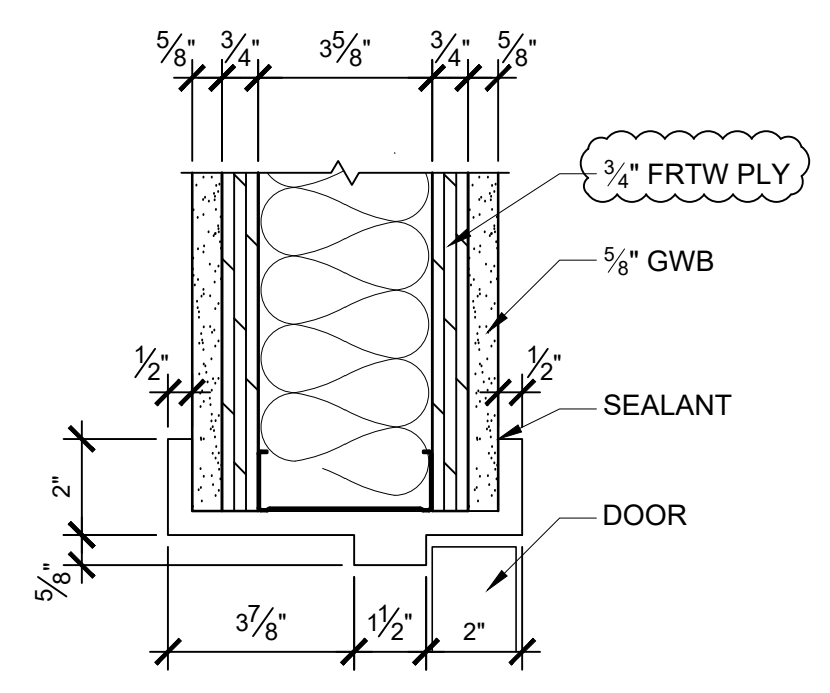
2 WINDOW PLAN DETAIL
SCALE: 3" = 1'-0"



1 WINDOW SECTION @ POINT OF SALES COUNTER
SCALE: 3" = 1'-0"



H1



J1

3 INTERIOR DOOR HEAD + JAMB DETAIL
SCALE: 3" = 1'-0"

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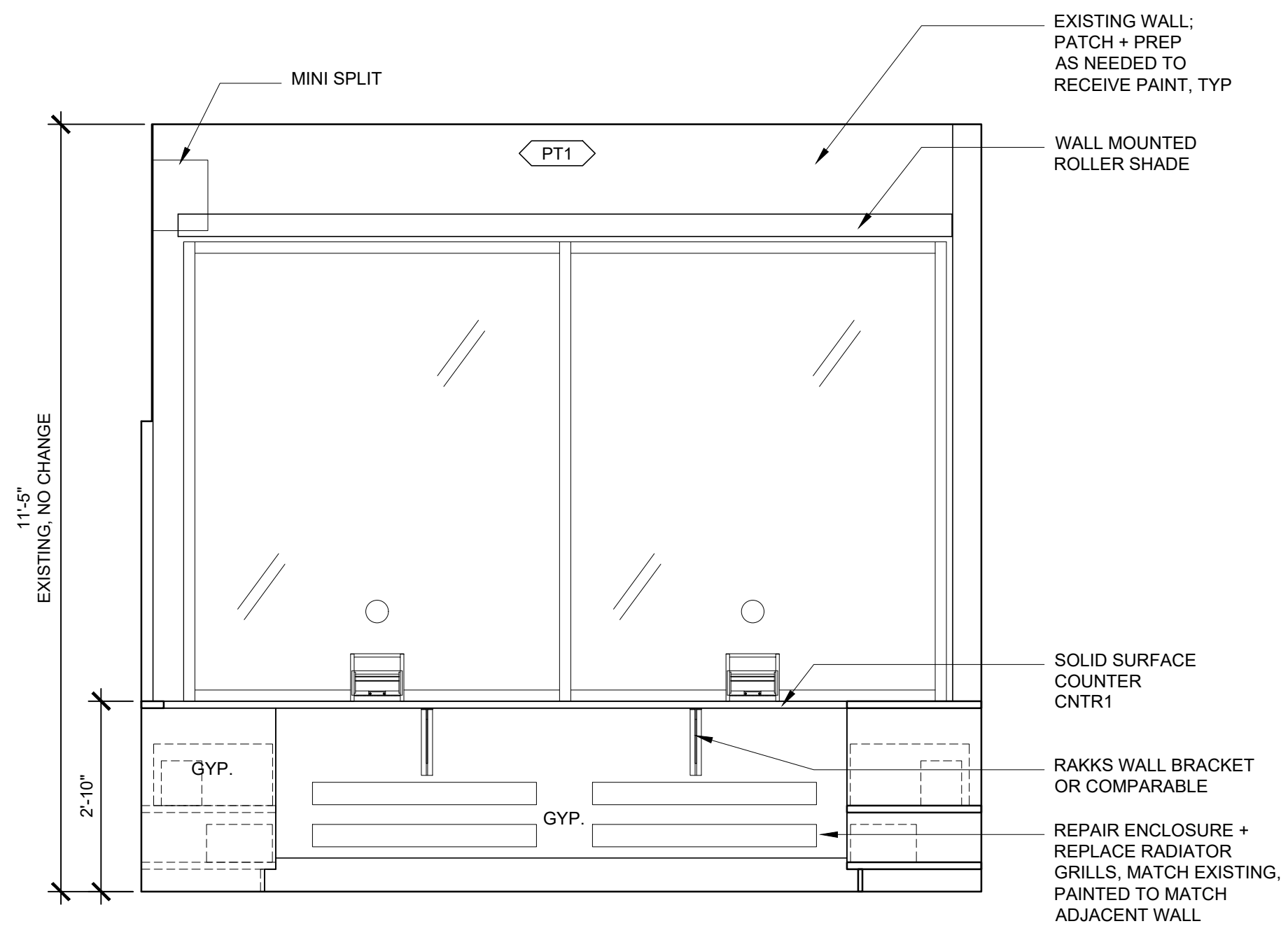
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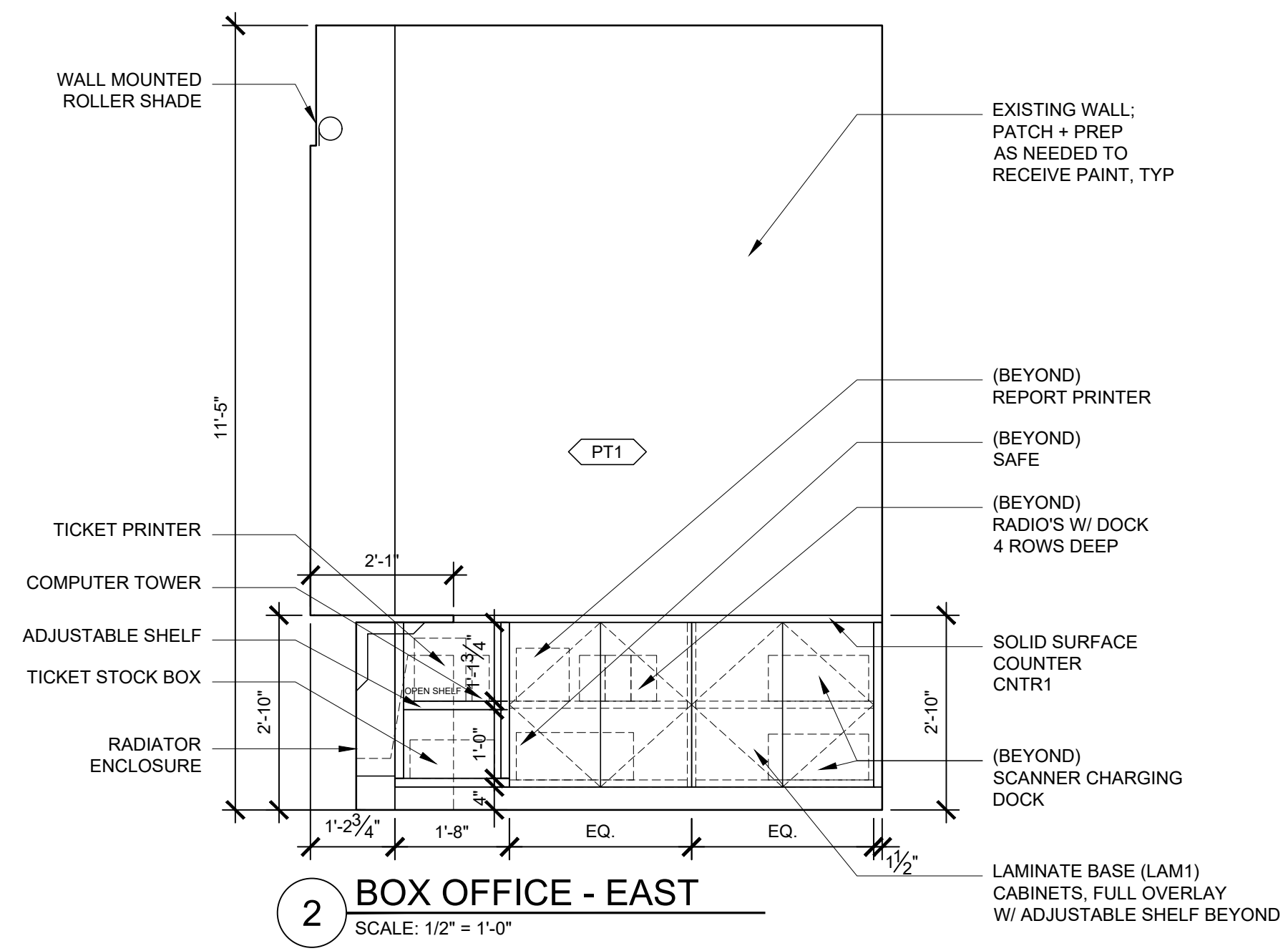
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WALL SECTION DETAILS + DOOR DETAILS

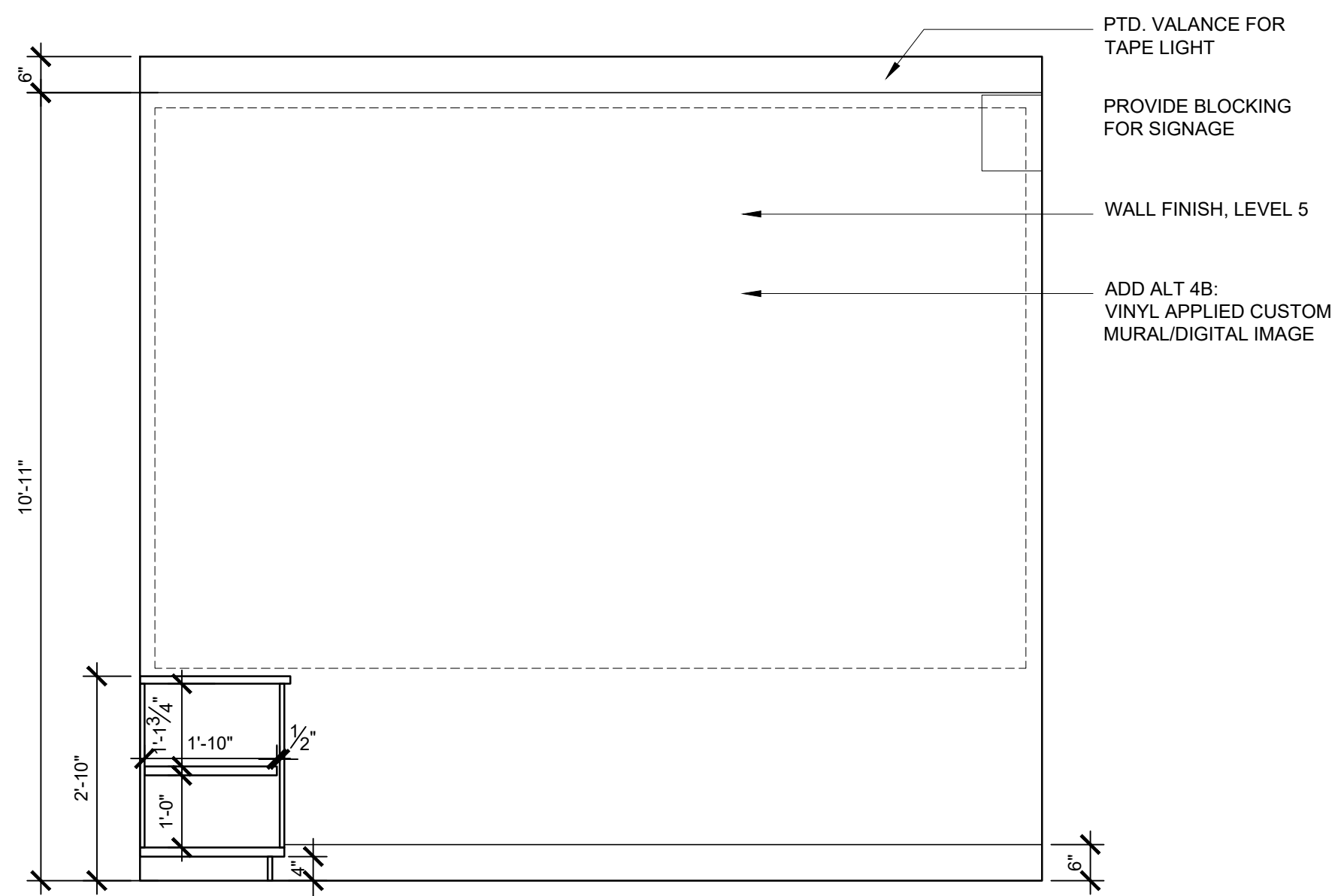
A311



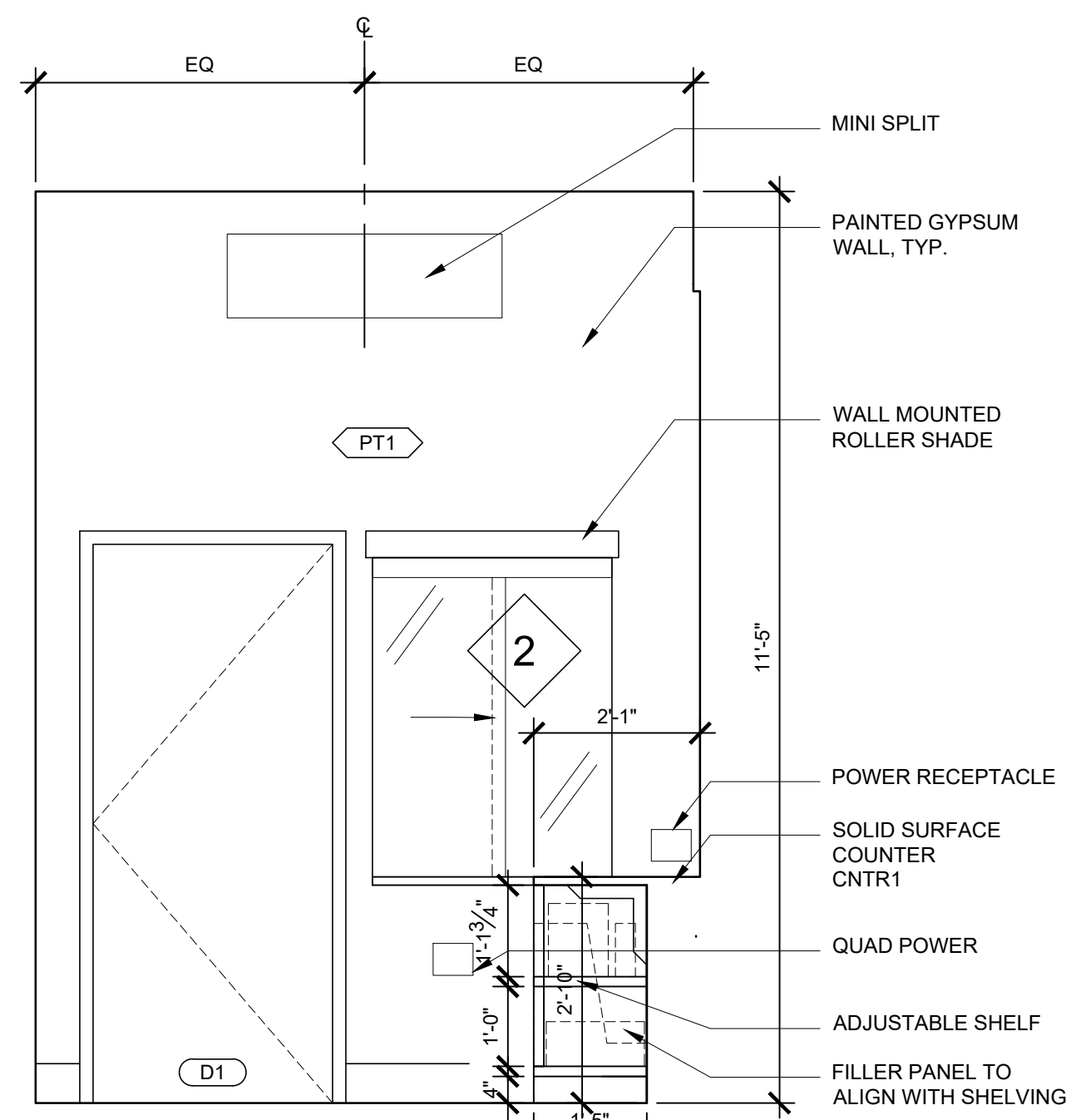
1 BOX OFFICE - SOUTH
SCALE: 1/2" = 1'-0"



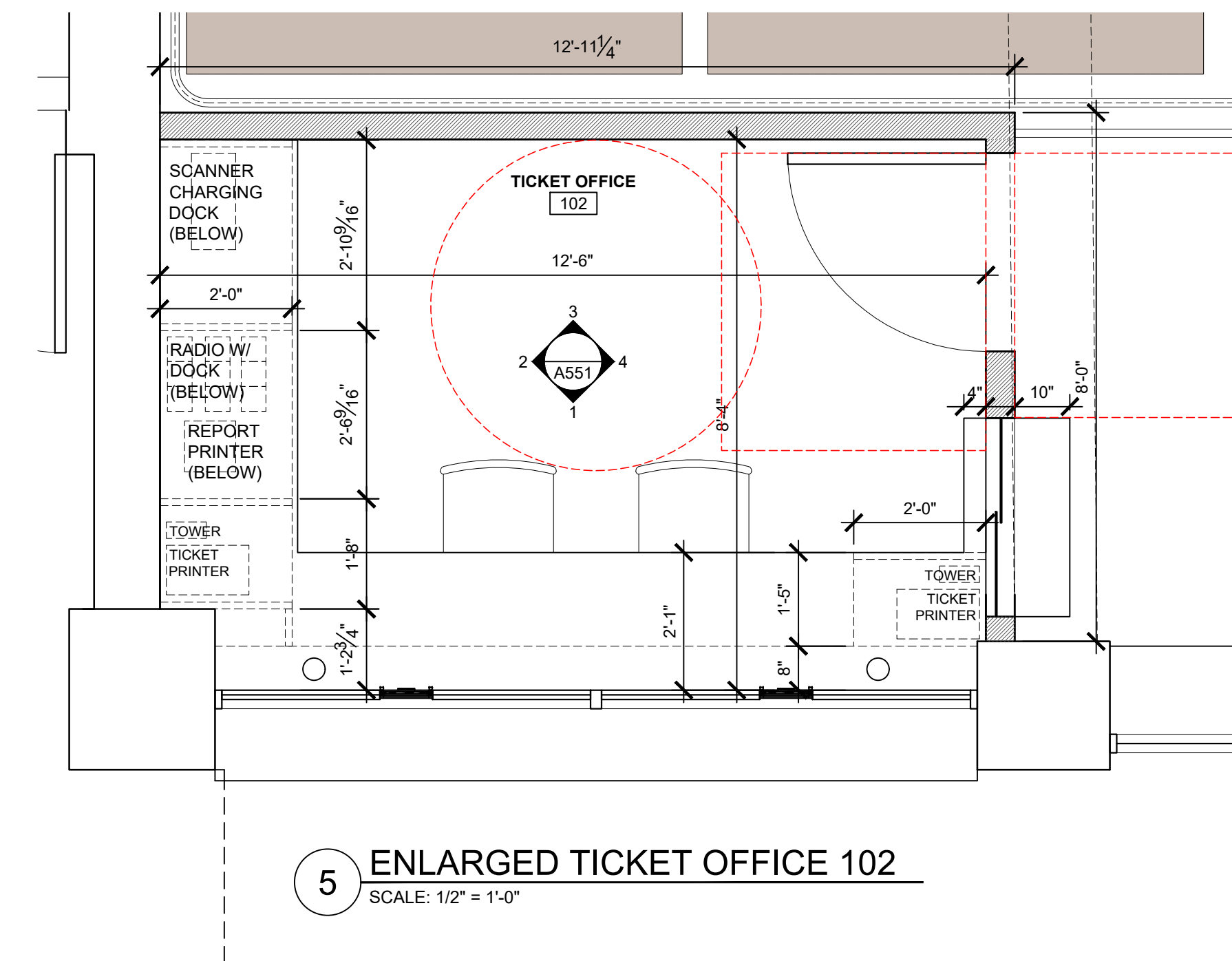
2 BOX OFFICE - EAST
SCALE: 1/2" = 1'-0"



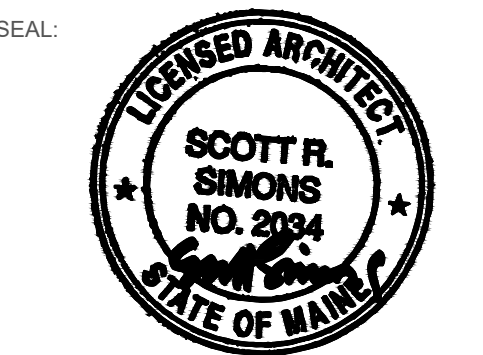
3 BOX OFFICE - NORTH
SCALE: 1/2" = 1'-0"



4 BOX OFFICE - WEST
SCALE: 1/2" = 1'-0"



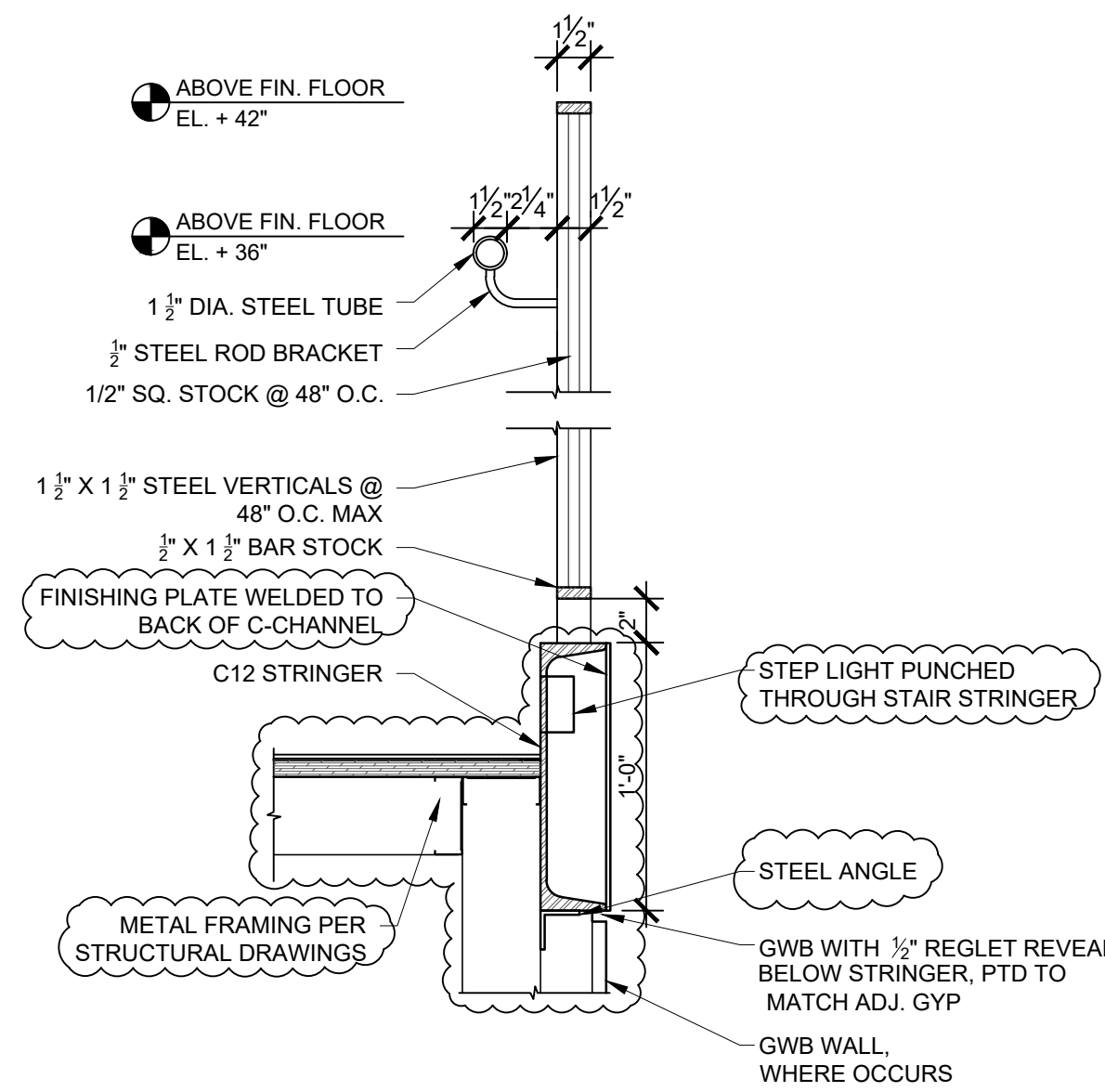
5 ENLARGED TICKET OFFICE 102
SCALE: 1/2" = 1'-0"



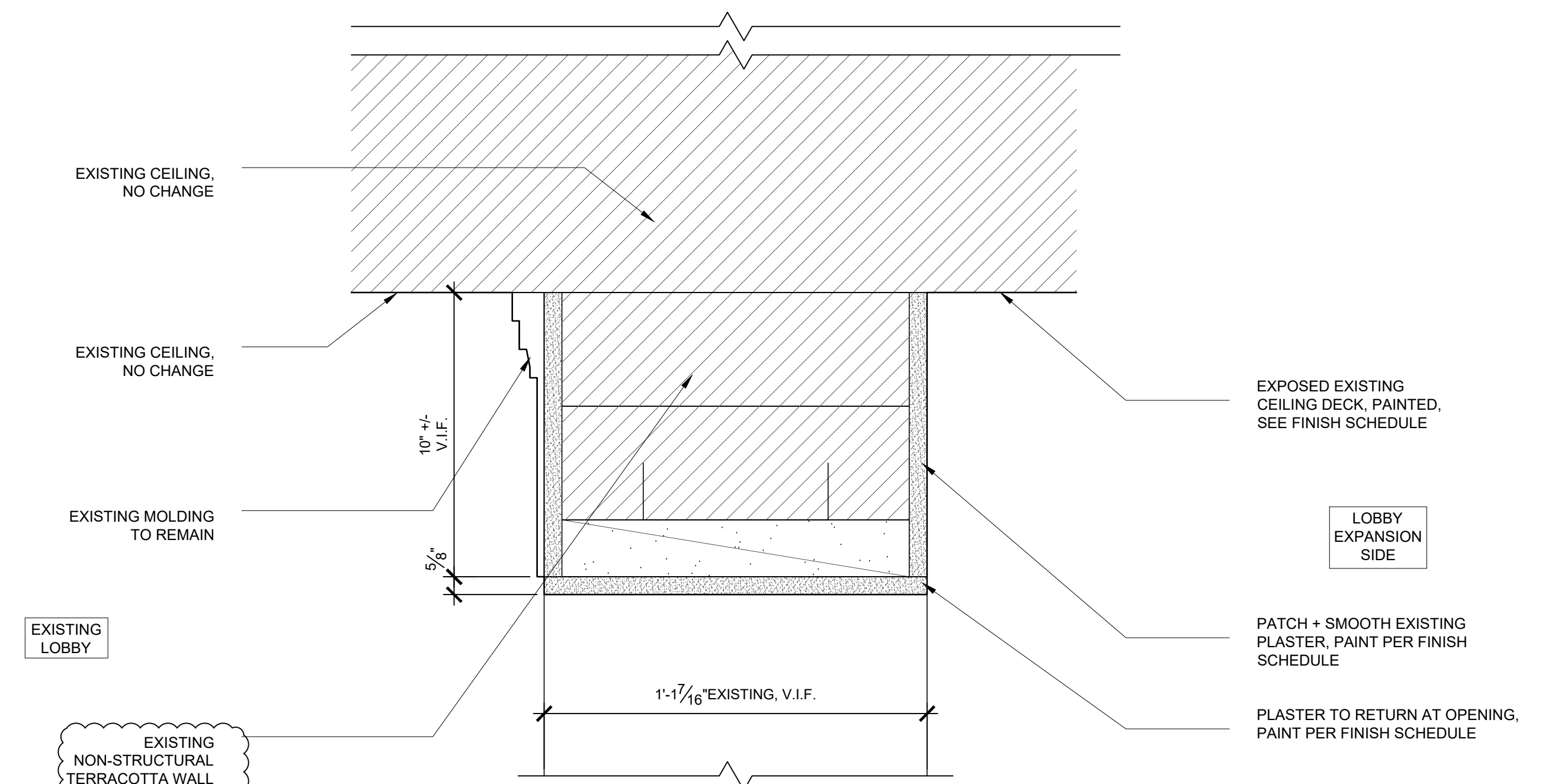
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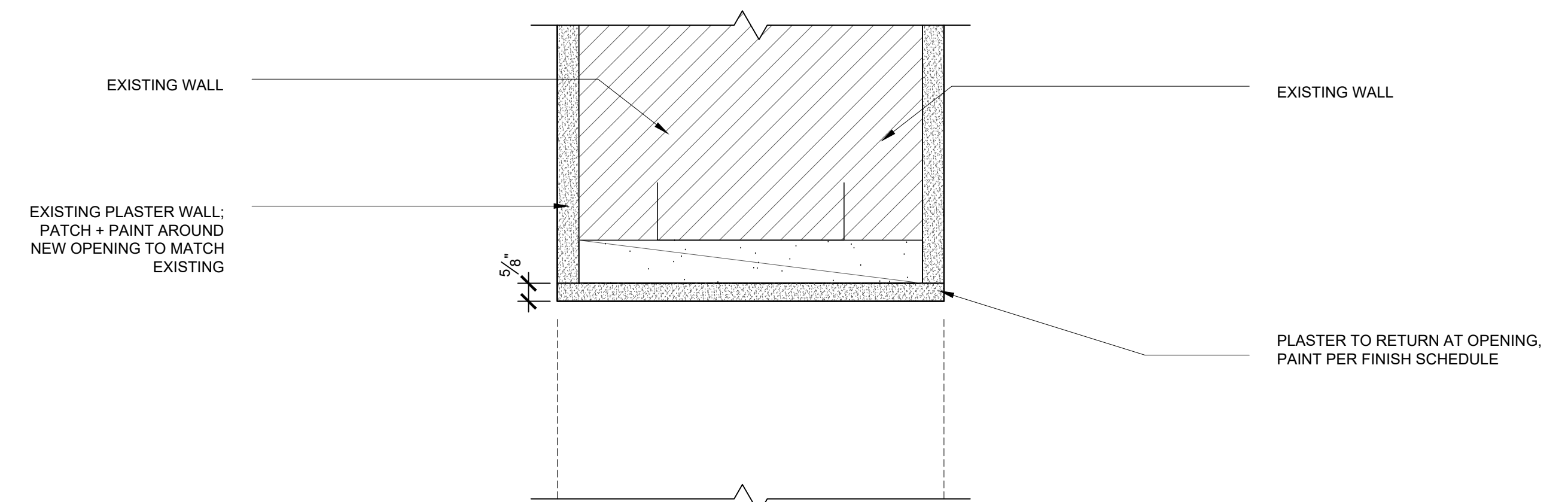
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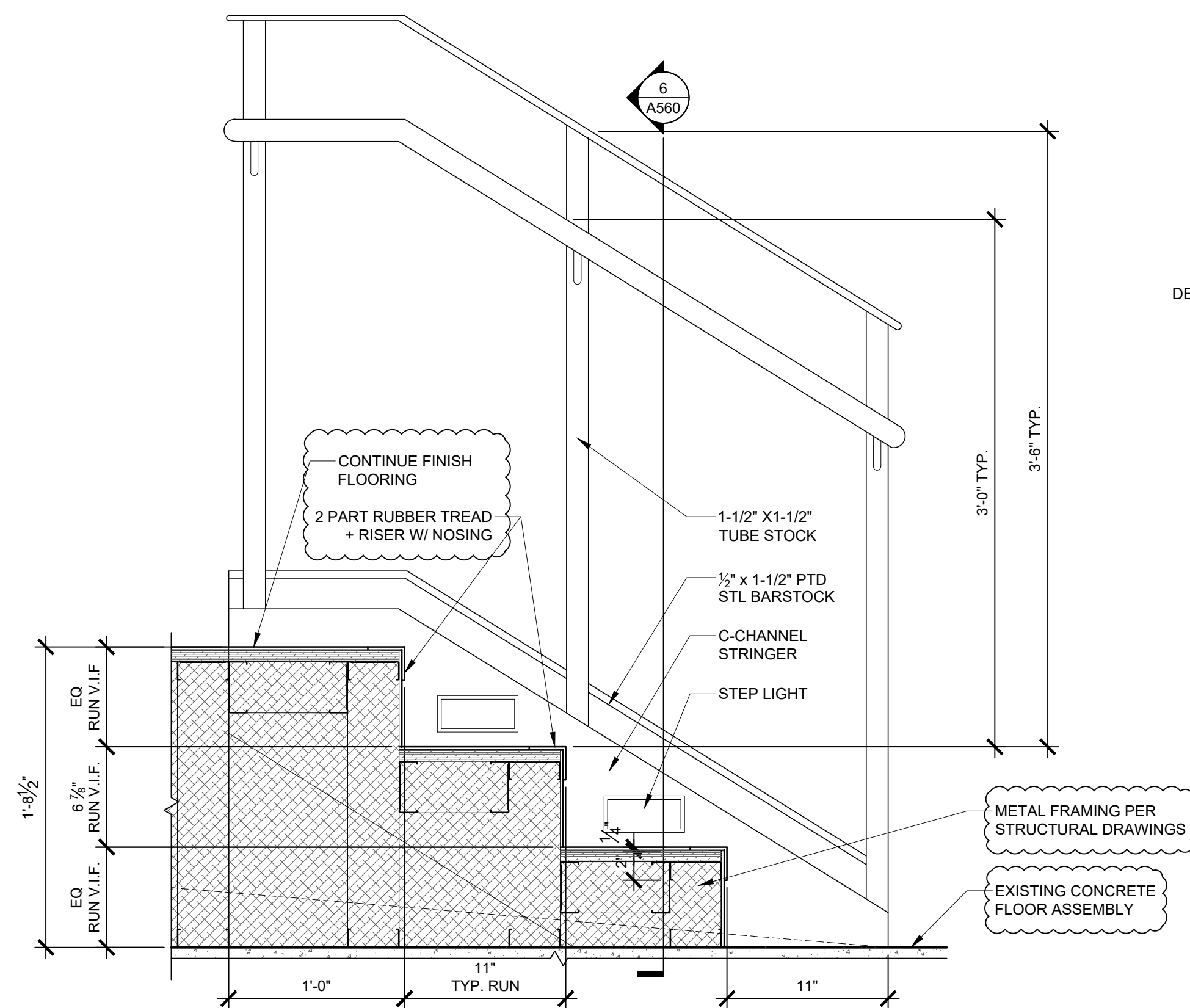
6 SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



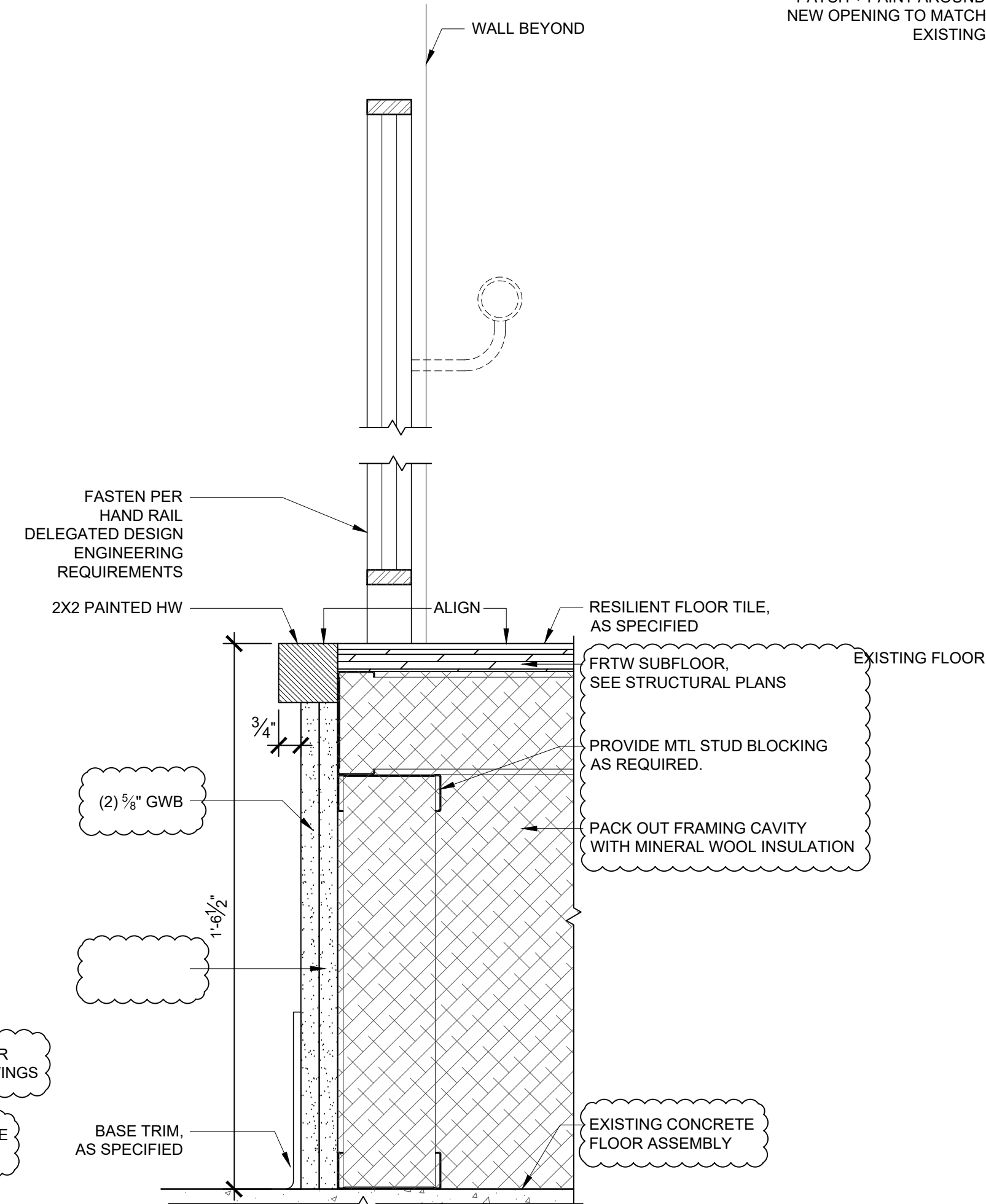
3 HEADER DETAIL
SCALE: 3" = 1'-0"



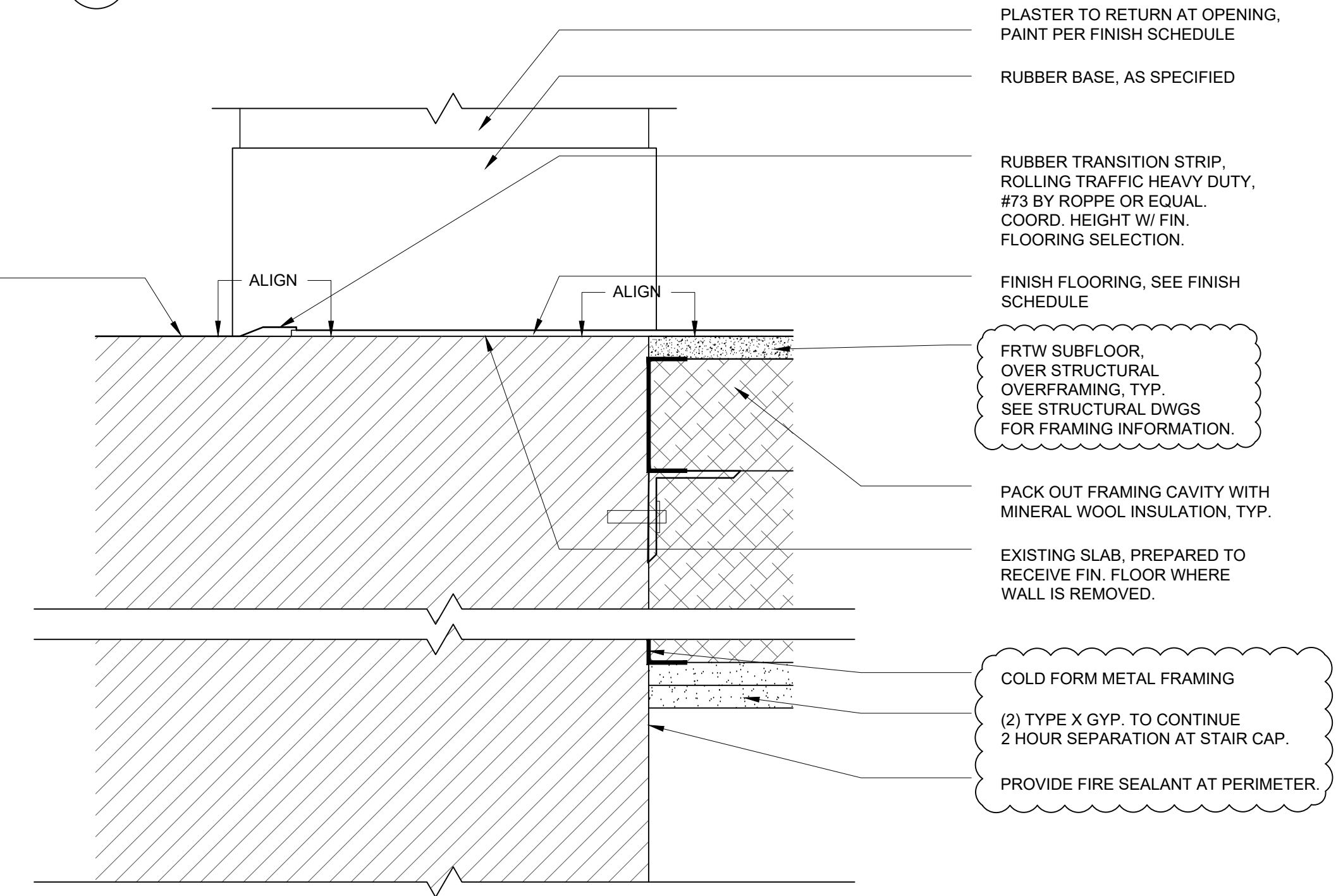
2 JAMB DETAIL
SCALE: 3" = 1'-0"



5 SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



4 UPPER FLOOR SECTION @ RAILING
SCALE: 3" = 1'-0"

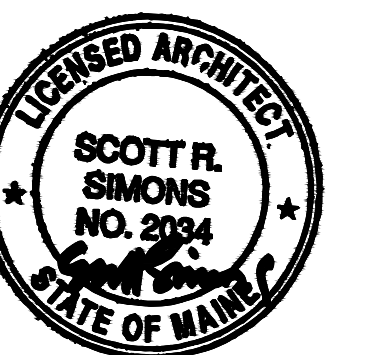


1 THRESHOLD DETAIL
SCALE: 3" = 1'-0"

PROJECT NAME:
**STATE THEATRE
LOBBY EXPANSION**

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SEAL:



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**INTERIOR DETAILS +
VERTICAL
CIRCULATION**

A560

STRUCTURAL NOTES
ALL WORK PER MUBEC, INCLUDING THE IBC 2015 AND THE IEBC 2015.

PROJECT: INSTALL A PLATFORM AT THE ELEVATION OF THE CURRENT HALLWAY FOR THE STATE THEATER ENTRANCE, WITH STAIRS AND AN ADA RAMP.

LIVE LOAD: 100 PSF
DEAD LOAD 15 PSF
CODES: MUBEC 2015, NFPA 101, ADA 405

THE BUILDING IS SPRINKLERED, WITH CONCRETE, MASONRY AND STEEL CONSTRUCTION.

PLATFORM FRAMING TO BE OVERFRAMING, WITH SUPPORTS AT 4' ON CENTER AND AROUND THE PERIMETER OF THE PLATFORM, OF 50 ksi COLD-FORMED STEEL SUCH AS CLARK DIETRICH (https://www.clarkdietrich.com/) OR SIMILAR, INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

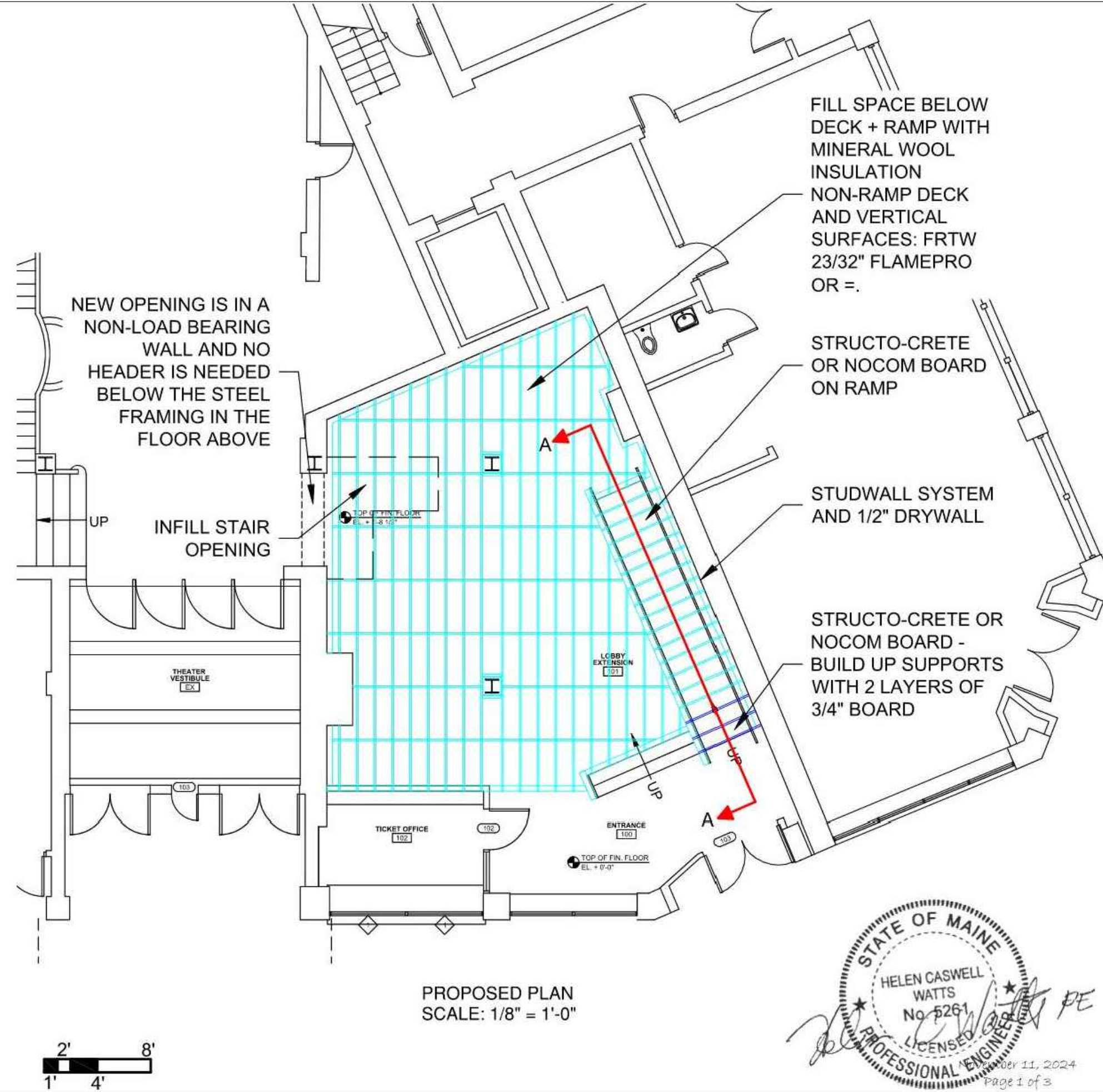
JOISTS TO BE 350S162-54 AT 16" ON CENTER. STUD WALL TO BE 350S162-33 STUDS AT 24" ON CENTER. TRACK TO BE 362PDT125-30 TOP AND BOTTOM. FASTENERS: TRACK TO EXISTING FLOORING: ITW TRUGRIP 17 HWH CL 14-10 X 1.5"

DECK SHEATHING TO BE INSTALLED WITH THE PRIMARY AXIS PERPENDICULAR TO THE JOISTS. FASTENING TO BE 4" OC EDGES, 6" OC JOISTS, TEKS 3 10-16 X 1 13/16" OR SIMPSON CBSDQ158S #8 X 1 5/8" PER MATERIAL TECH BULLETINS

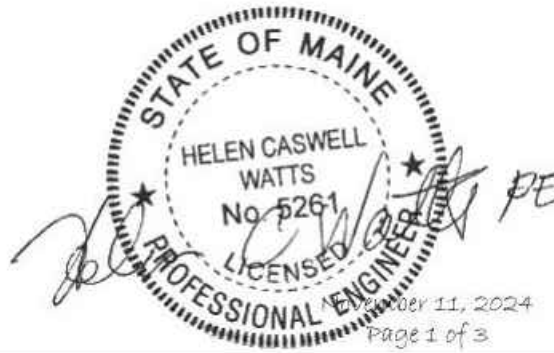
THE RAMP JOISTS ARE SAME. AT THE LOWEST 4' OF RAMP, THE SHEATHING WILL BE SUPPORTED BY RIPPED RAMP SUBFLOOR PANELS, DOUBLED AND FASTENED, AT 12" ON CENTER.

ALL COLD-FORMED STEEL SHALL BE HOT-DIPPED GALVANIZED TO A MINIMUM OF G-60 COATING THICKNESS. PROVIDE A FRAMED EDGE FOR ALL SHEATHING EDGES.

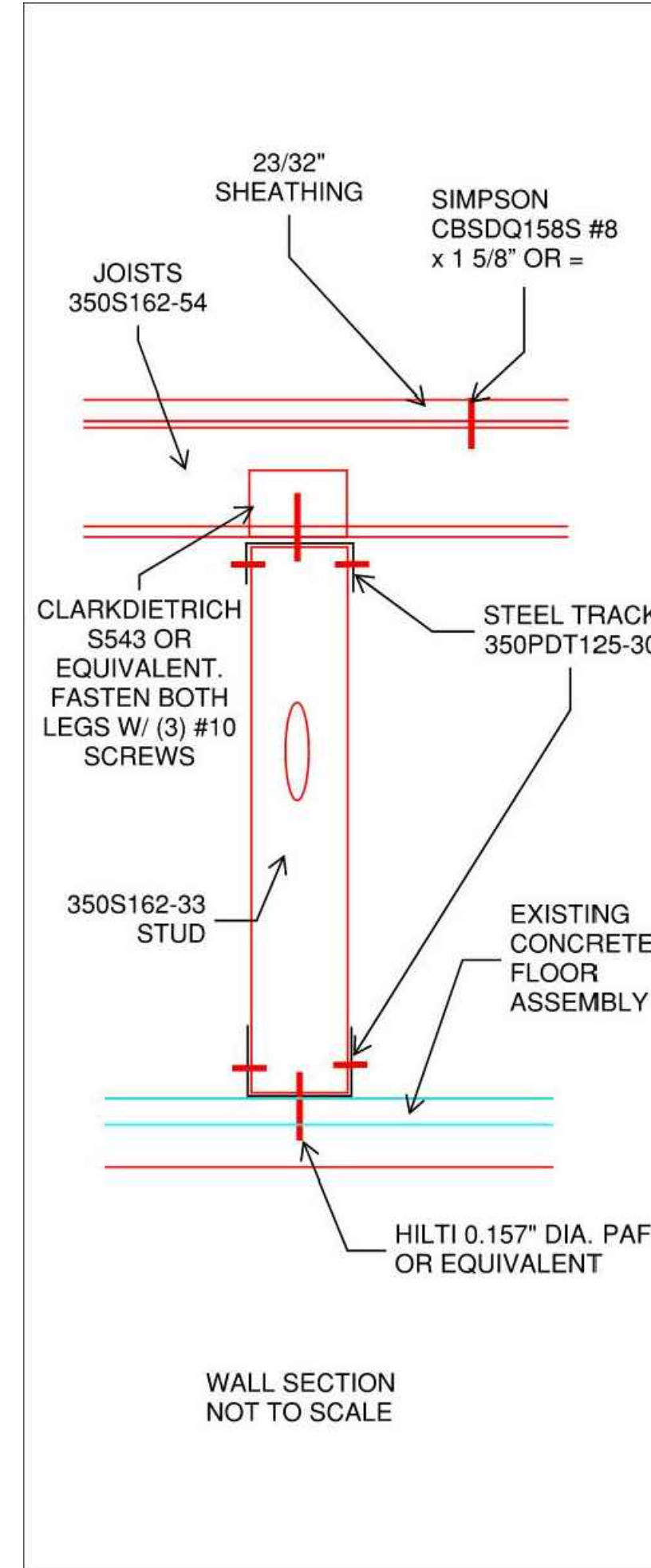
ALTERNATE MANUFACTURERS ARE ALLOWED IF EQUIVALENT.



PROPOSED PLAN
SCALE: 1/8" = 1'-0"

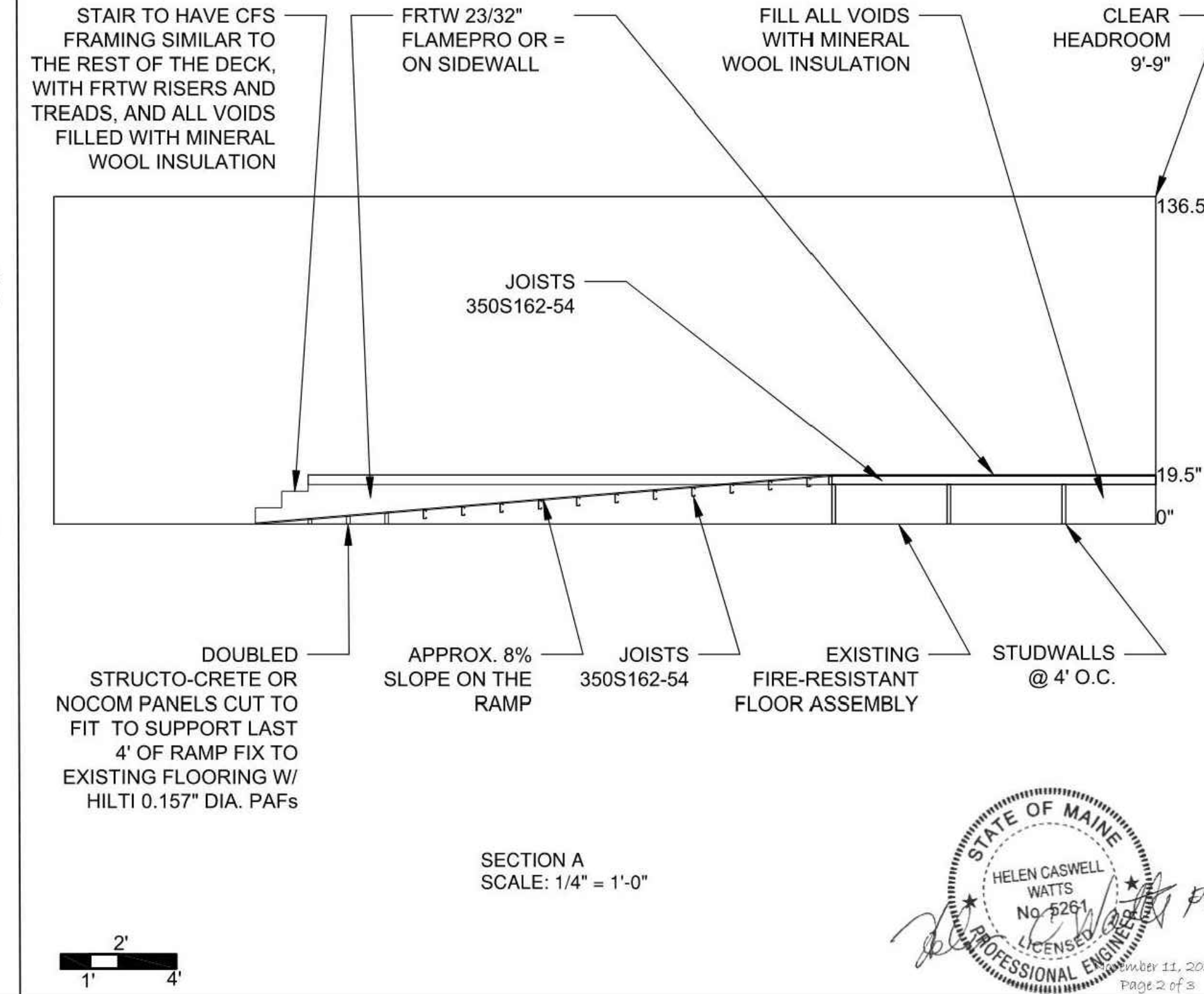


S1



WALL SECTION
NOT TO SCALE

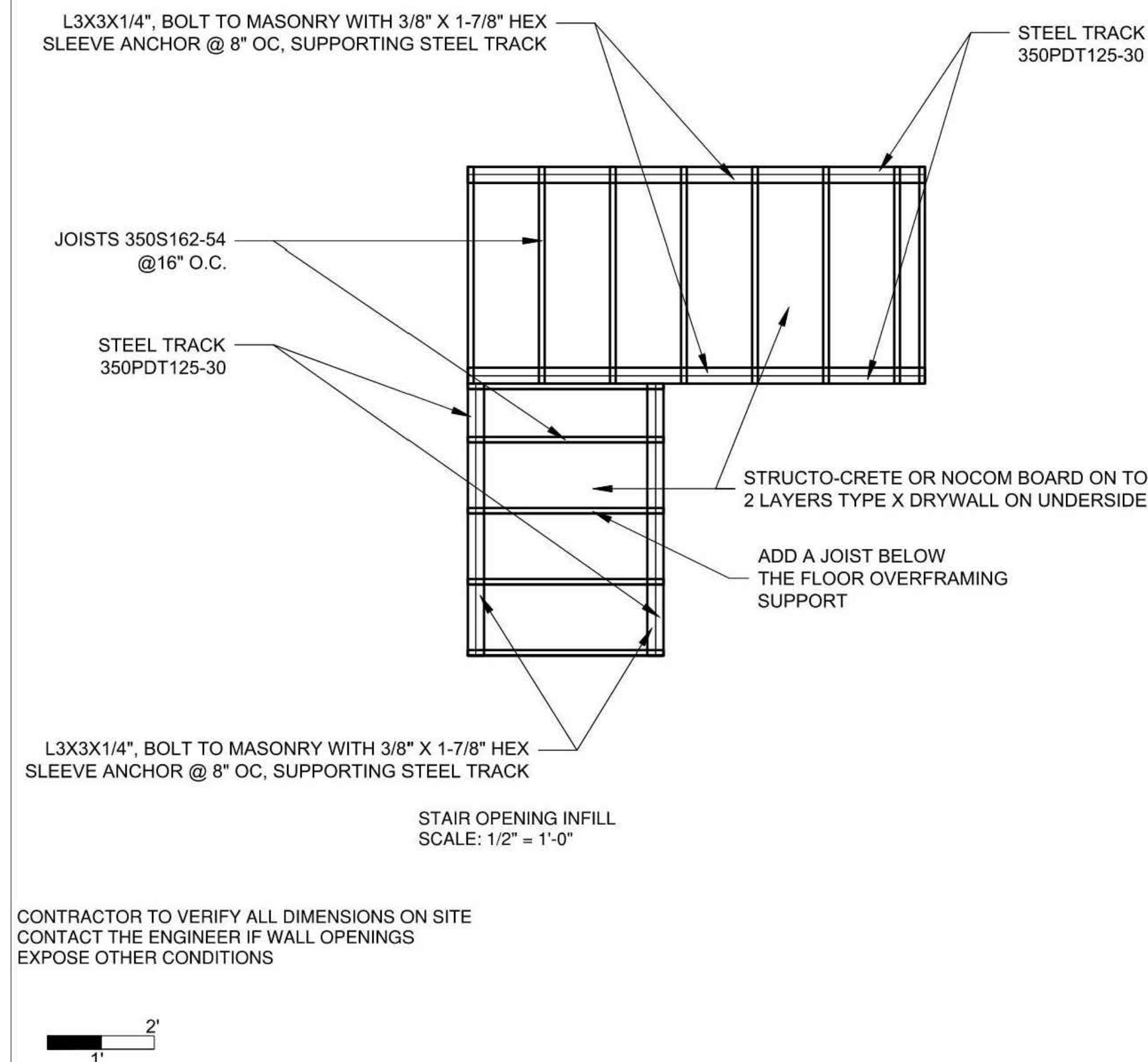
FASTEN/HANDLE ALL FRTW AND STRUCTO-CRETE OR NOCOM PER MANUFACTURER'S INSTRUCTIONS.



SECTION A
SCALE: 1/4" = 1'-0"

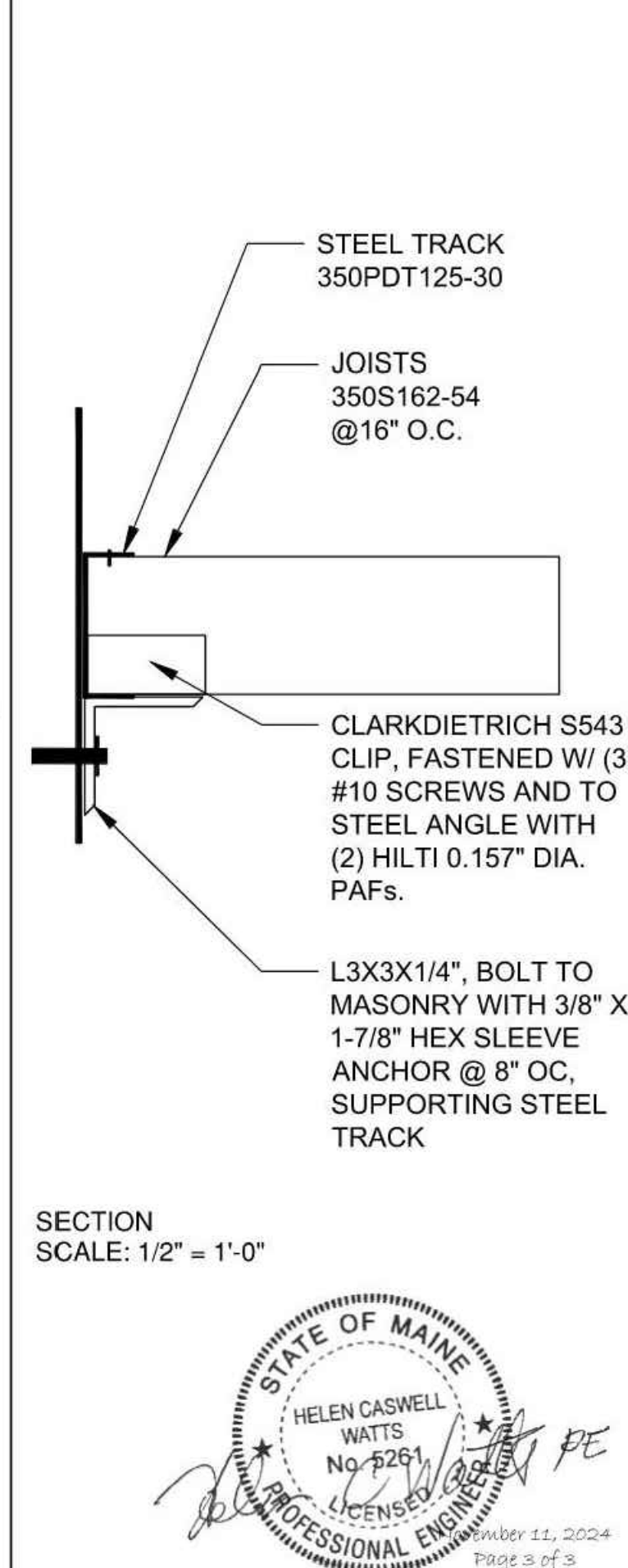
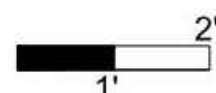


S2

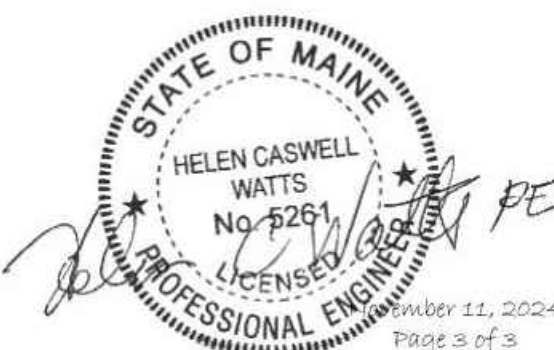


STAIR OPENING INFILL
SCALE: 1/2" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE CONTACT THE ENGINEER IF WALL OPENINGS EXPOSE OTHER CONDITIONS



SECTION
SCALE: 1/2" = 1'-0"



S3



75 York Street
Portland, Maine 04101
simonsarchitects.com
207.772.4656



1 DEFOY STREET, SUITE 23
FREETOWN, MAINE 04032 TEL: 800-243-1989

PROJECT NAME:
STATE THEATRE LOBBY EXPANSION

609 CONGRESS STREET
PORTLAND, MAINE 04101

SEAL:

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REVISION:	DATE
C&P PERMIT APPLICATION REVISION	11.11.24
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE

DATE OF ISSUE: SEPTEMBER 09, 2024
PROJECT NUMBER: 2021-0240
STATUS: ISSUED FOR CONSTRUCTION

STRUCTURAL DRAWINGS

S001

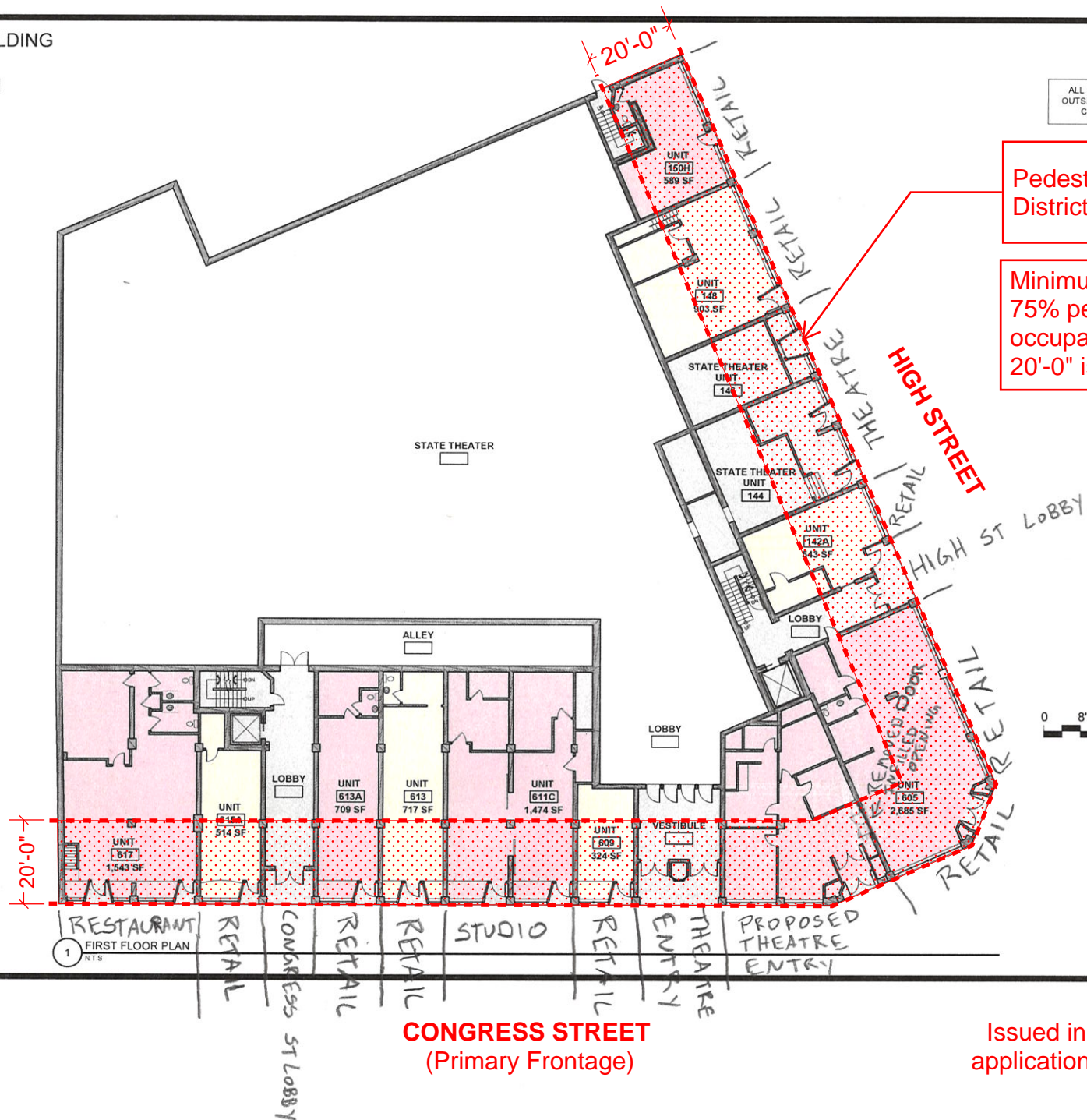
STATE THEATER BUILDING
142 HIGH STREET
PORTLAND, ME 04101

Redstone

ALL SQUARE FOOTAGES CALCULATED
OUTSIDE FACE OF EXTERIOR WALLS AND
CENTERLINE OF SHARED WALLS

Pedestrian Activities
District (PAD) Overlay

Minimum requirement
75% permitted
occupancy w/in first
20'-0" is met per 8.7.1.



RSA

1
FIRST FLOOR PLAN
NTS

NOVEMBER 29, 2016	
PROJECT No.	1643
SHEET TITLE:	FIRST FLOOR PLAN
A1-0	

CONGRESS STREET
(Primary Frontage)

11.11.2024
Issued in support of permit
application of 609 Congress